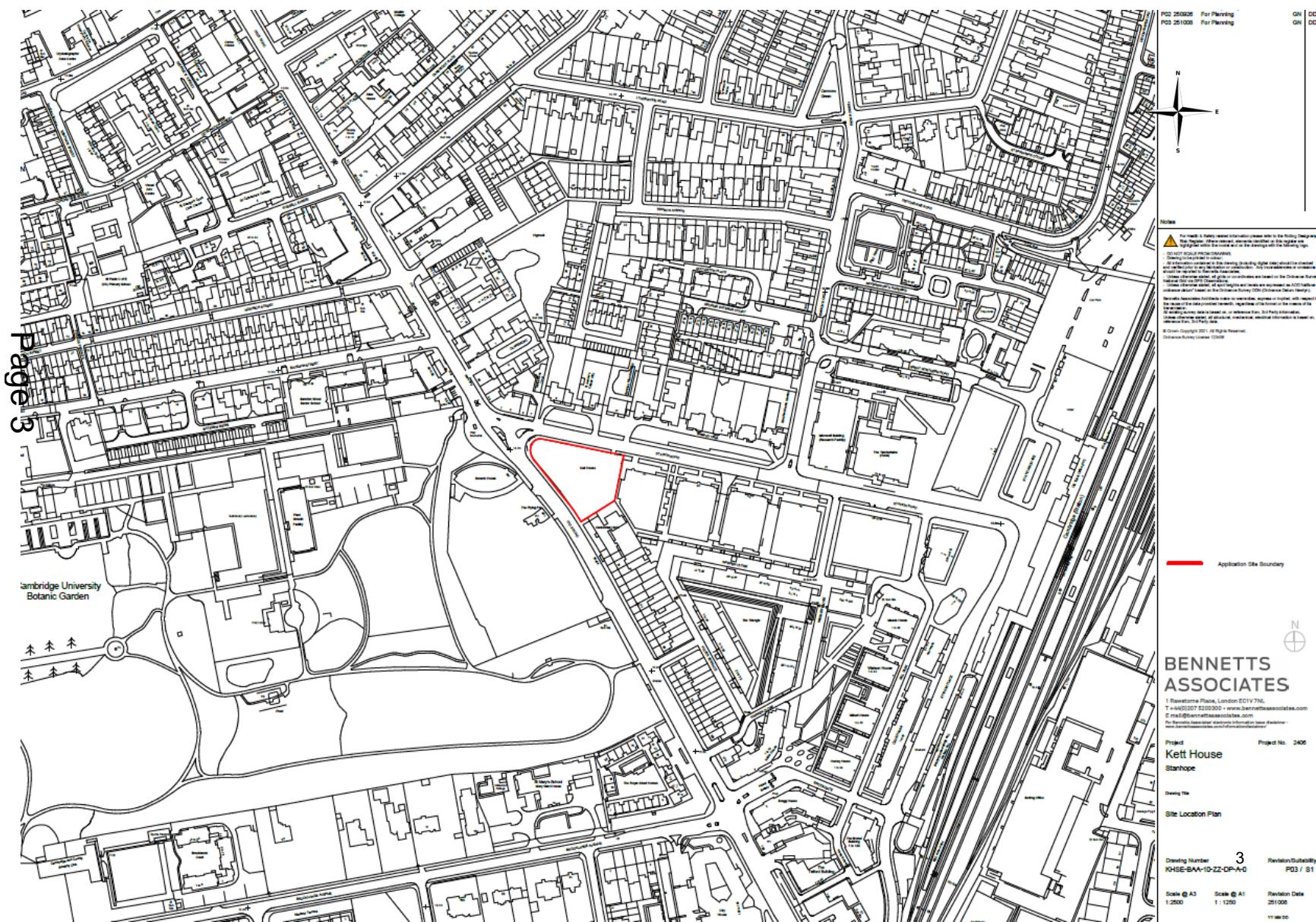


Planning
Committee



MAJOR APPLICATIONS

25/04039/FUL Kett House Site Location Plan



Heritage Context

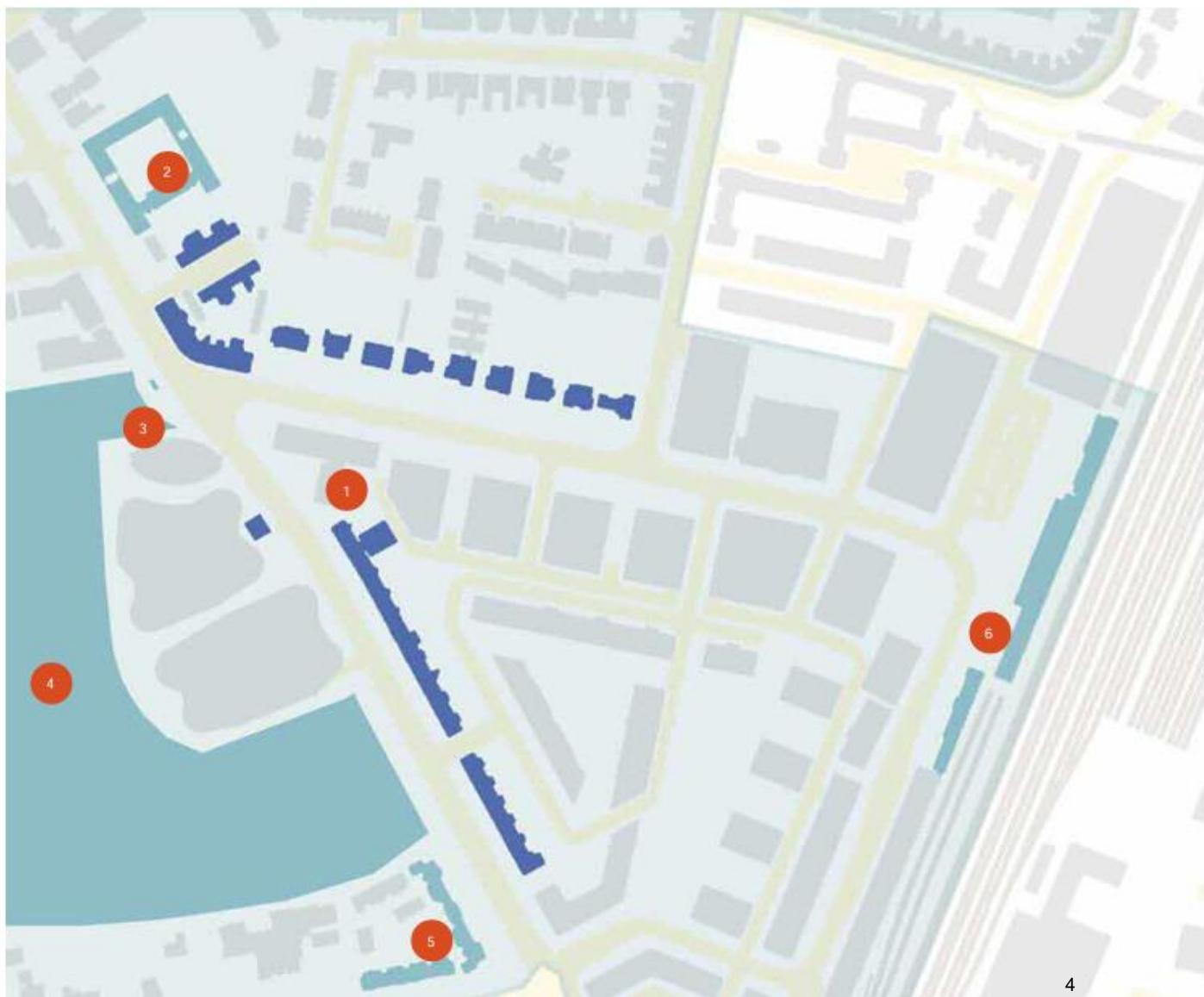
4.0 Site Context & Analysis

22

Heritage Assets & Buildings of Local Interest
The site is located within a Conservation Area and is surrounded by a number of heritage assets and buildings of local interest.

Page 4

- 1 Site
- 2 Highsett and from retaining wall, Grade II
- 3 War memorial, Grade II
- 4 Botanic Gardens, Grade II*
- 5 Royal Albert Homes, Grade II
- 6 Cambridge Railway Station, Grade II



Site Context

4.0 Site Context & Analysis

23

Building Typologies

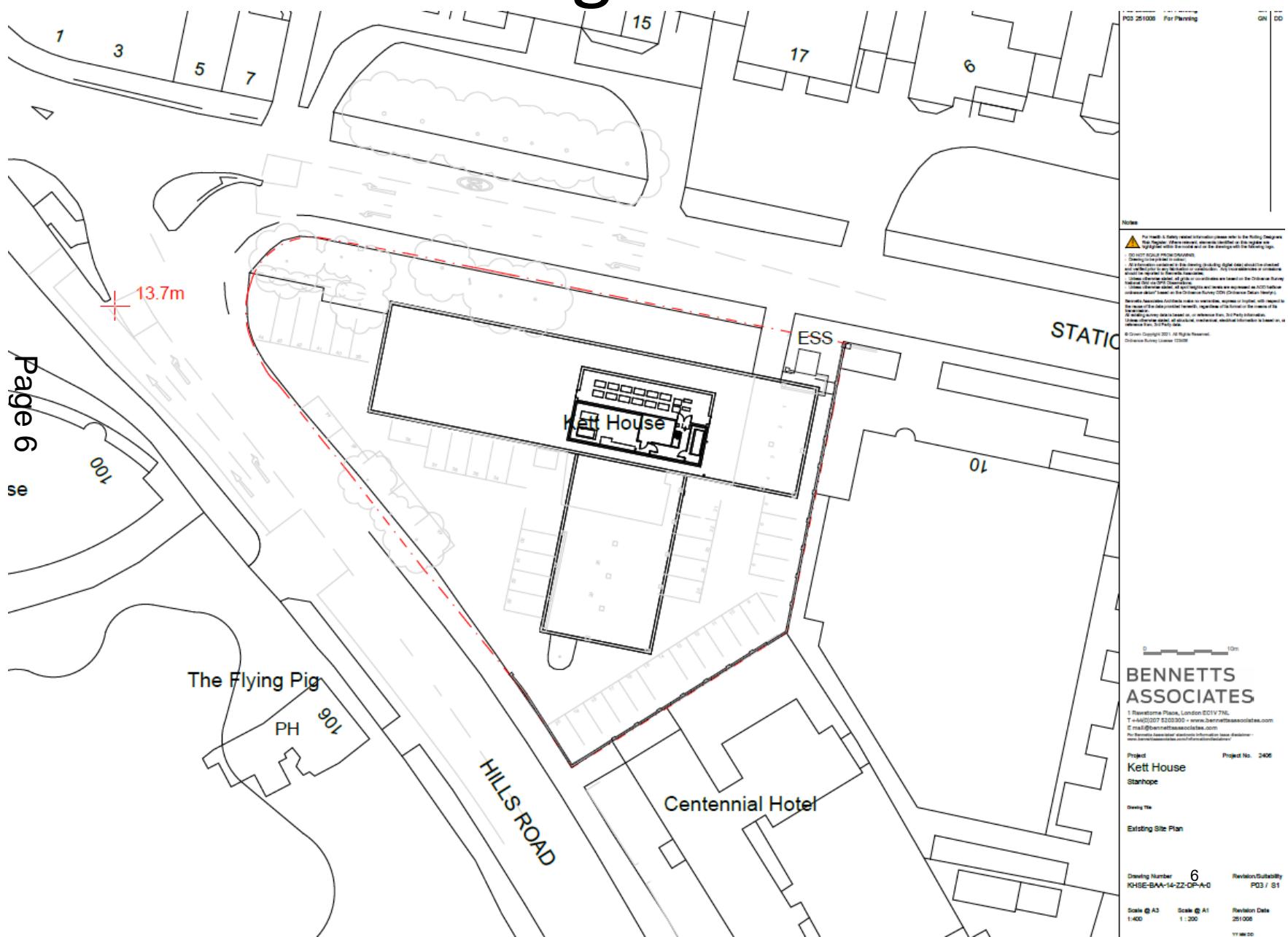
Location plan and accompanying images identifying the key building typologies of neighbouring buildings around the site.

- 1 Site, with Existing Building
- 2 Botanic House, local landmark
- 3 Nos 59 Hills Road with 1-7 Station Road (former Great Northern Hotel)*
- 4 9-11 Gundel Villas, 17 St Andrews, 19-29 Salsbury Villa
- 5 Station Road Office Buildings, part of the CB1 development*
- 6 Eastbourne Terrace and College Terrace, inc. Centennial Hotel*
- 7 Botanic Place, recent major development



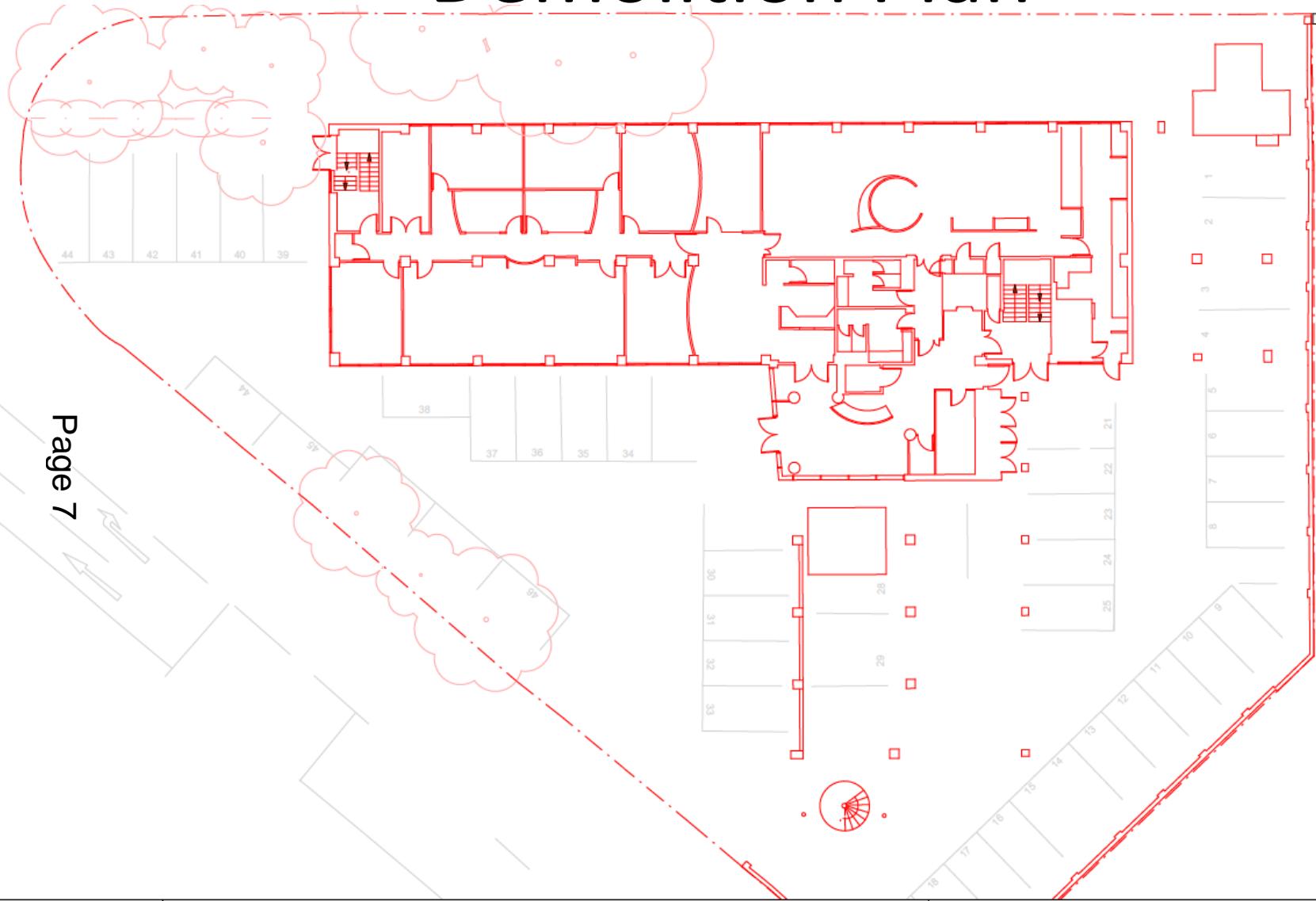
*locally listed buildings

Existing Site Plan



Demolition Plan

Page 7



V	Date	Revision	By
1	25/02/05	For Planning	GN
2	25/03/05	For Planning	GN

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Project Kett House

Drawing Title

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Drawing Number 7 Revision/Suitability
KHSE-BAA-12-L00-OP-A-0 P02 / 81

Scale @ A3 Scale @ A1 Revision Date
1:200 1:100 251008



Kett House to be demolished

Page 6



Existing Building
Current condition

Site Context

4.0 Site Context & Analysis

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Page 10



01. Existing Car Park
Parking at prominent corner junction location. No public space.

02. Pavement
Narrow, inconsistent pavement around the site.

03. Existing Substation
Electrical substation located on Kett House site, parallel to Station Road.

04. Public Realm
Cluttered public realm transition between 10 Station Road and Kett House.



05. Junction Approach
A lack of a 'marker' building at this prominent site at the turning point to the station.

06. Hills Road Approach
Poor quality urban realm.



07. Station Road Approach
Obstructed public realm. CB1 masterplan landscaping culminates in a wall on the Kett House site.



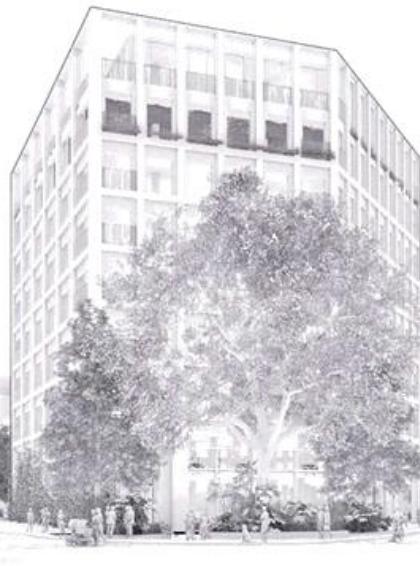
08. Station Road Approach
Narrow pavement and poor quality greenery.

Design Evolution

8.0 Design Evolution

48

Page 11



Prior Massing / Heights

Includes level 8 accommodation (Design Review Panel 1 scheme).



Revised Massing / Heights

All 10,000sqt of level 8 accommodation removed from the proposed scheme, with a carved terrace at level 7 enabling views to the sky from the key Botanic Place viewpoint.

Indicative Proposed Scheme

Page 12



Integration with wider strategic goals

The Kett House plot was not initially included in the CB1 masterplan; a large and successful regeneration scheme which has transformed the area between the train station and Hills Road. As such, the plot can be seen to represent the final piece of the masterplan in the Station Road area, after the completion of the CB1 scheme. Due to its prominent location at the intersection of Hills and Station Road, the plot offers a fantastic opportunity for the development of a genuinely sustainable building, utilising cutting edge low carbon construction methods to set a benchmark for sustainable construction in the city for the future, whilst retaining a clear link to the heritage of the site through its materiality. Resilient planting and water gardens have been proposed to ensure that this forward looking approach to climate change is evident through the landscape.

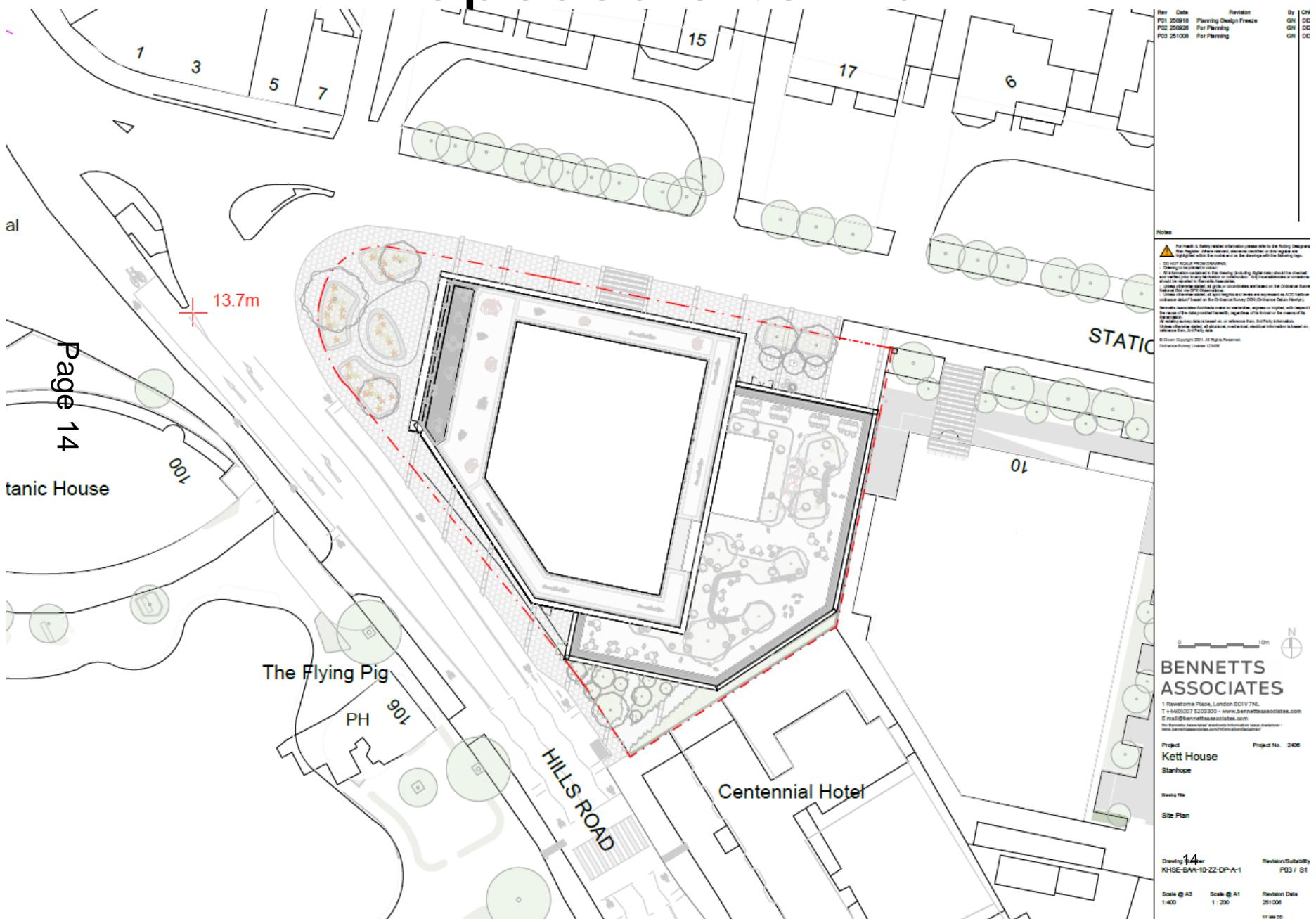
Page 13



Indicative Proposed Scheme

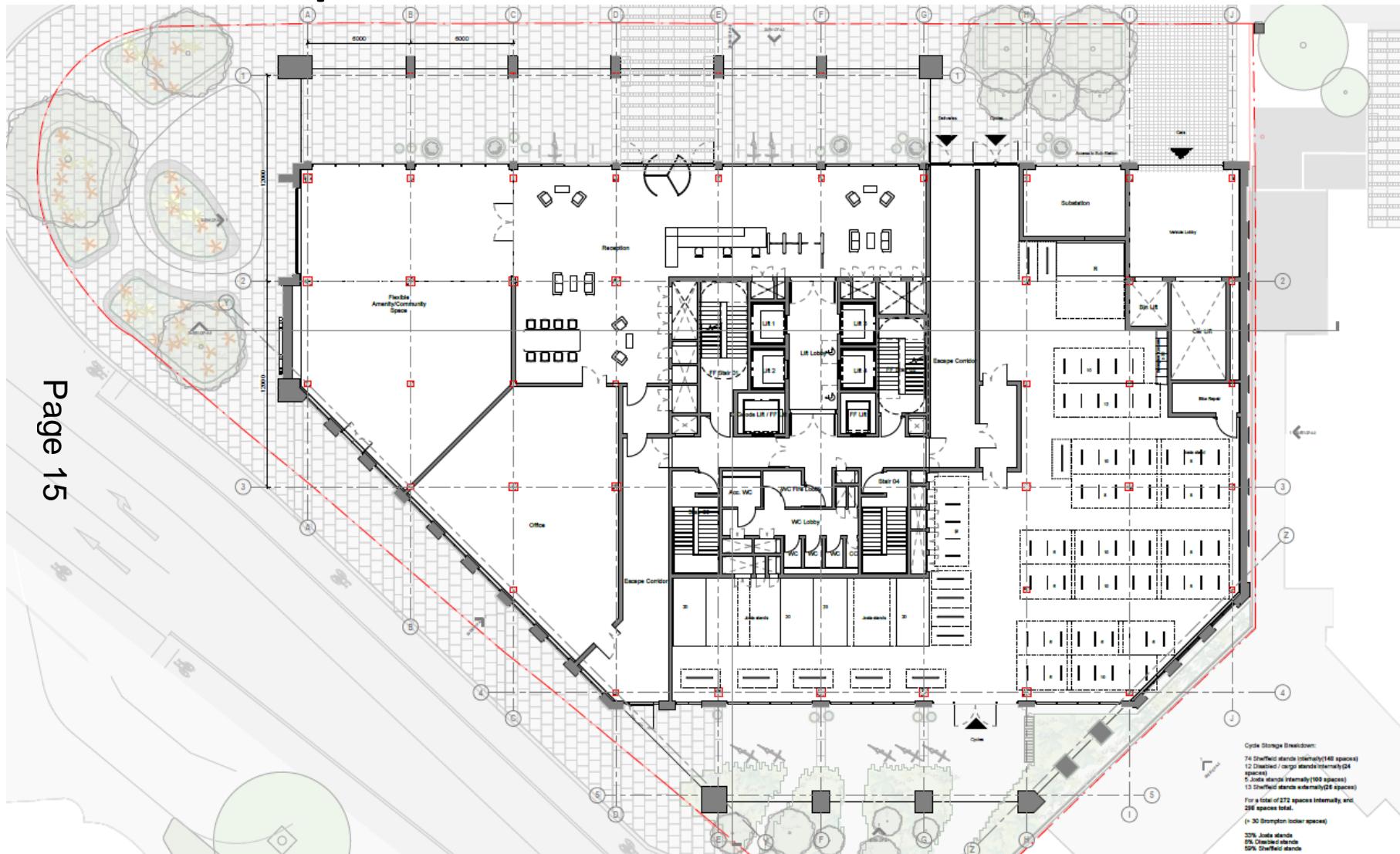


Proposed Site Plan



Proposed Ground Floor Plan

Page 15



Rev	Date	Revision
P01	25/09/15	Planning Design Freeze
P02	25/09/25	For Planning
P03	25/10/06	For Planning
P04	25/10/16	For Planning

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Project
Kett House
Stanhope

Drawing Title
General Arrangement
Level 00 (Ground) Floor Plan

Project No. 2475

15

Revision Suitability
P04 / S1

Drawing Number 15
KHSE-BAA-20-L00-DP-A-0

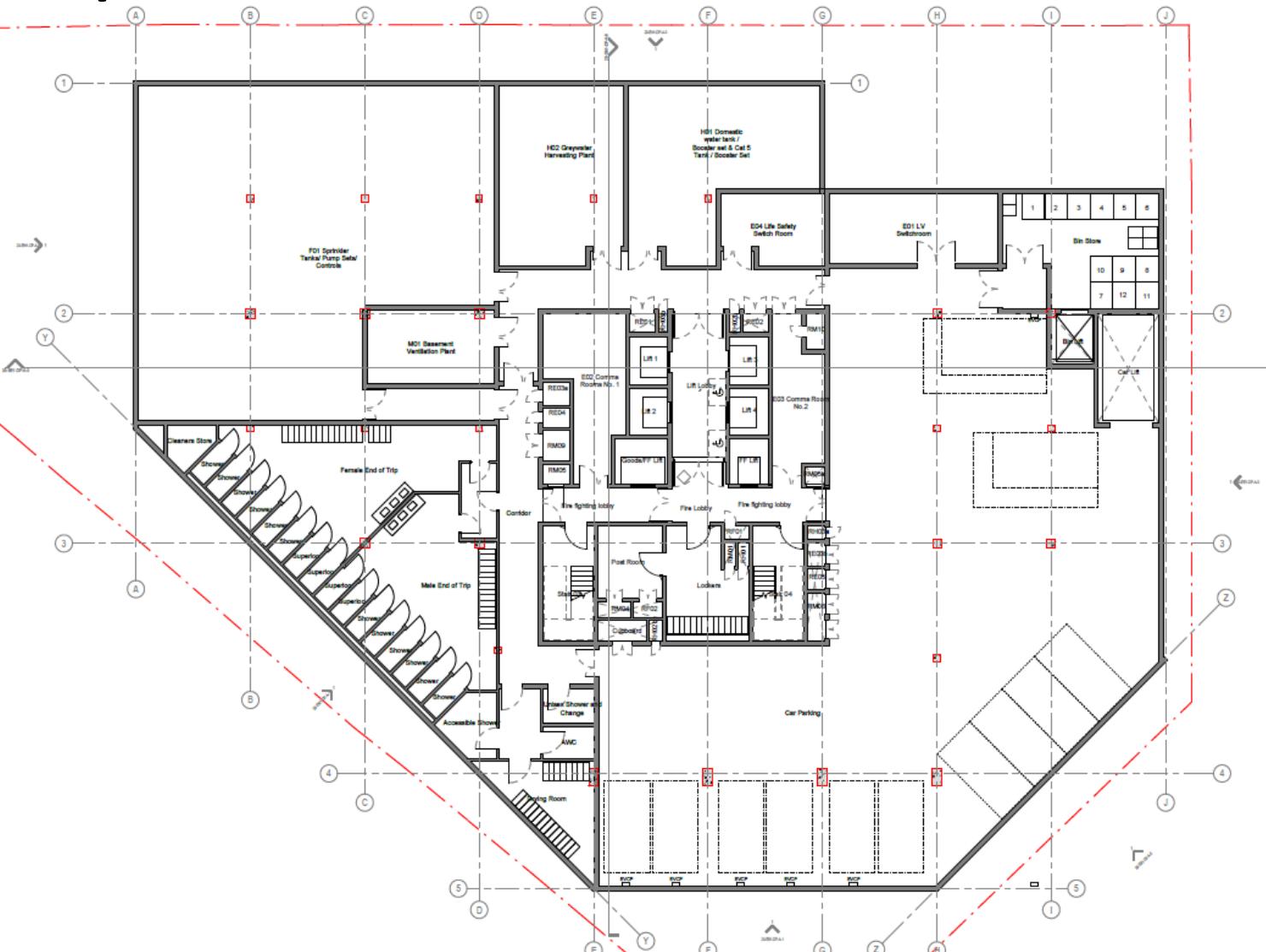
Page 10

Scale @ A3 Scale @ A1

Revision Date

Proposed Basement Floor Plan

Page 16



Rev	Date	Revision
101	25/09/05	Planning Design Freeze
102	25/09/05	For Planning
103	25/10/05	For Planning

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Drawing Number
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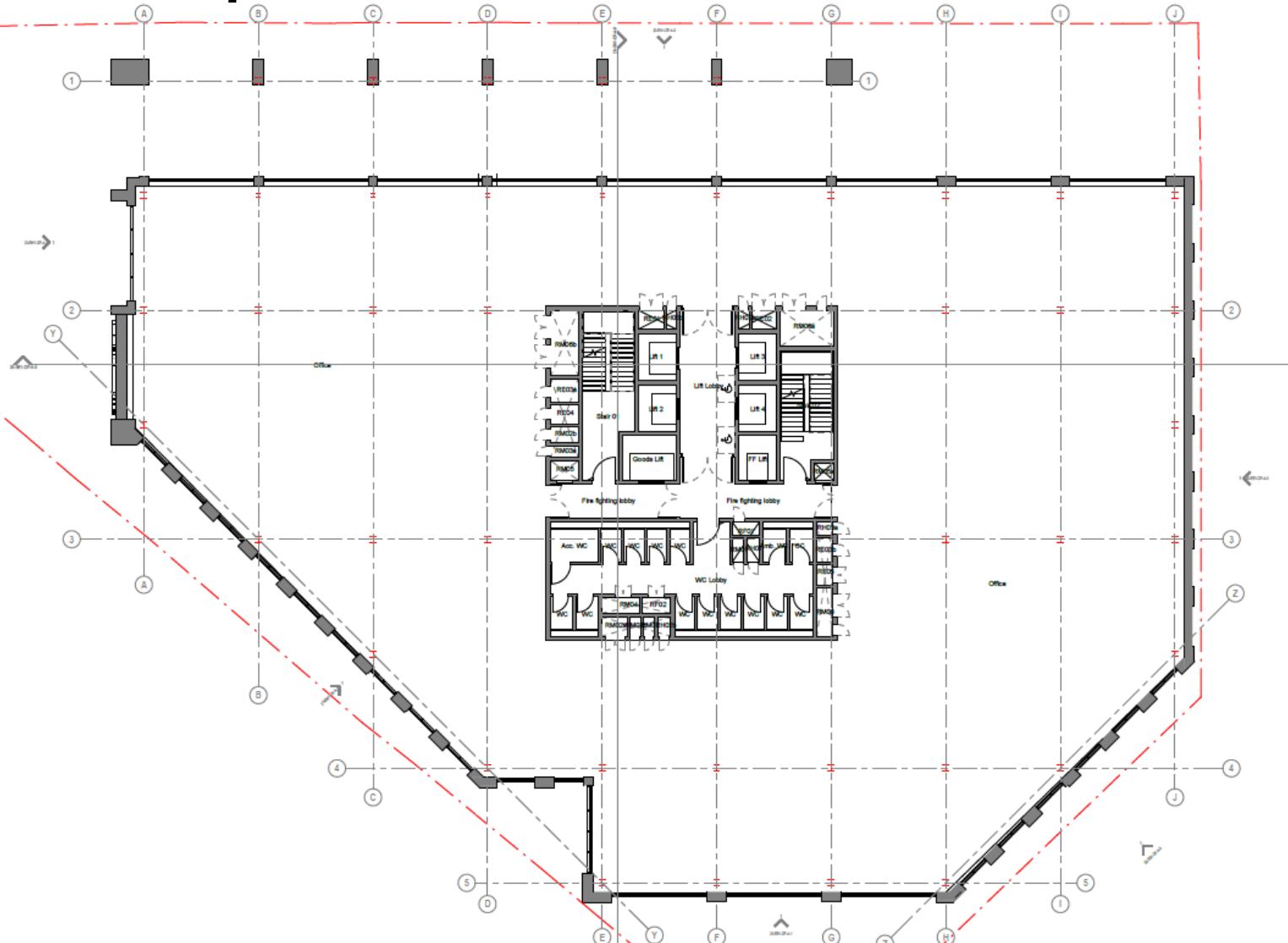
Project No. 2475

Scale @ A3
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Revision Date
25/10/06

Proposed First Floor Plan

Page 17



Rev	Date	Revision	By
101	25/09/15	Planning	Design Freeze
102	25/09/25	For Planning	GN
103	25/10/08	For Planning	GN

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Drawing Title General Arrangement Level 01 - Floor Plan

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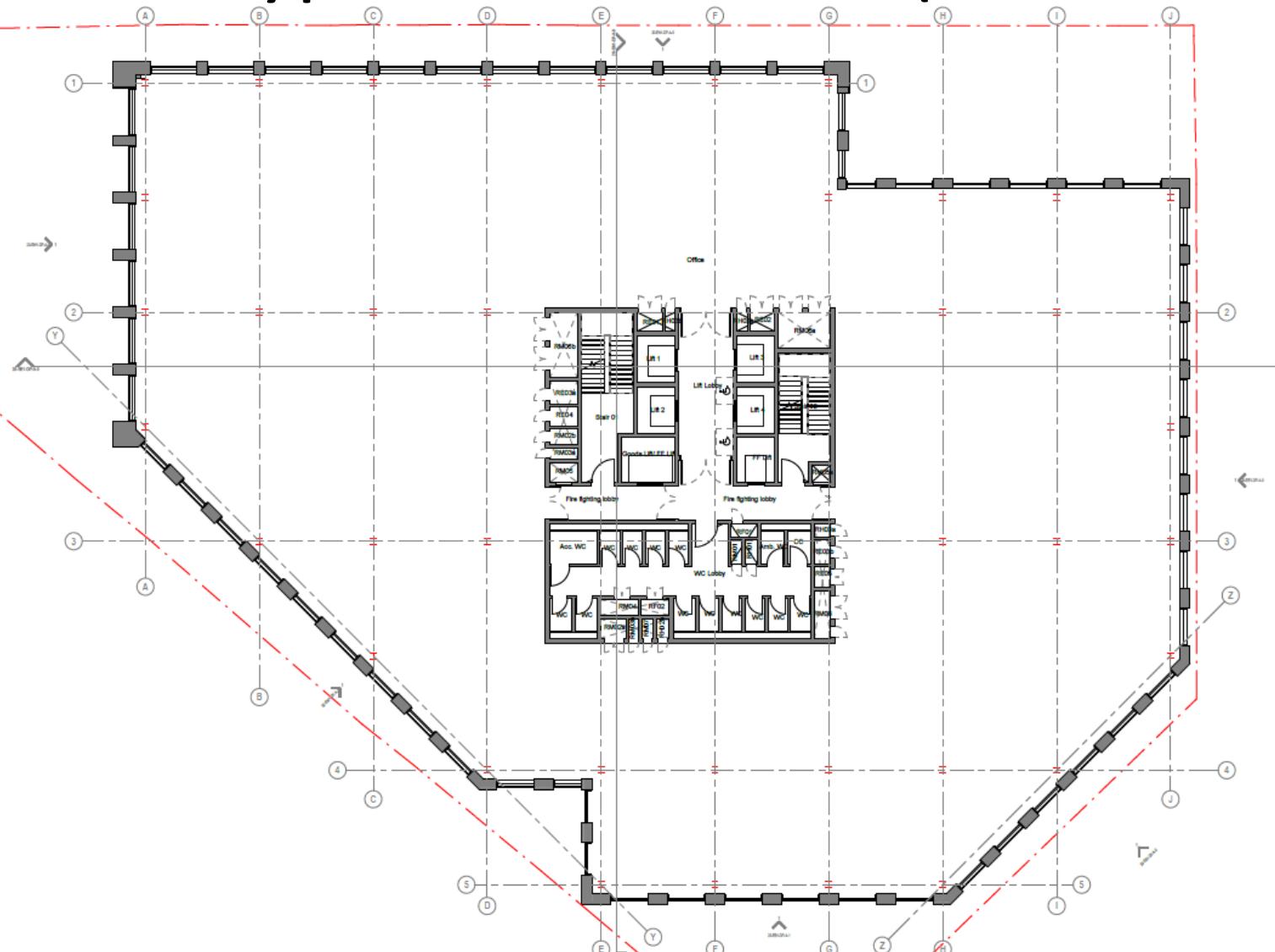
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KSE-BAA-201-01-5

Project No. 2406

Revision Guide

Proposed Typical Floor Plans (Floors 2-5)

Page 18



Rev	Date	Revision	By	Comments
101	25/09/15	Planning	GN	Design Freeze
102	25/09/25	For Planning	GN	
103	25/10/08	For Planning	GN	

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Drawing Title
General Arrangement
Level 02 - Floor Plan

0 5m

Drawing Number 18
KHSE-BAA-20H.024

Project No. 2406

Revision Testability

PO3 / 81

Proposed Floor Level 6

Page 19



Rev	Date	Revision
P01	25/09/15	Planning Design Freeze
P02	25/09/25	For Planning
P03	25/10/06	For Planning

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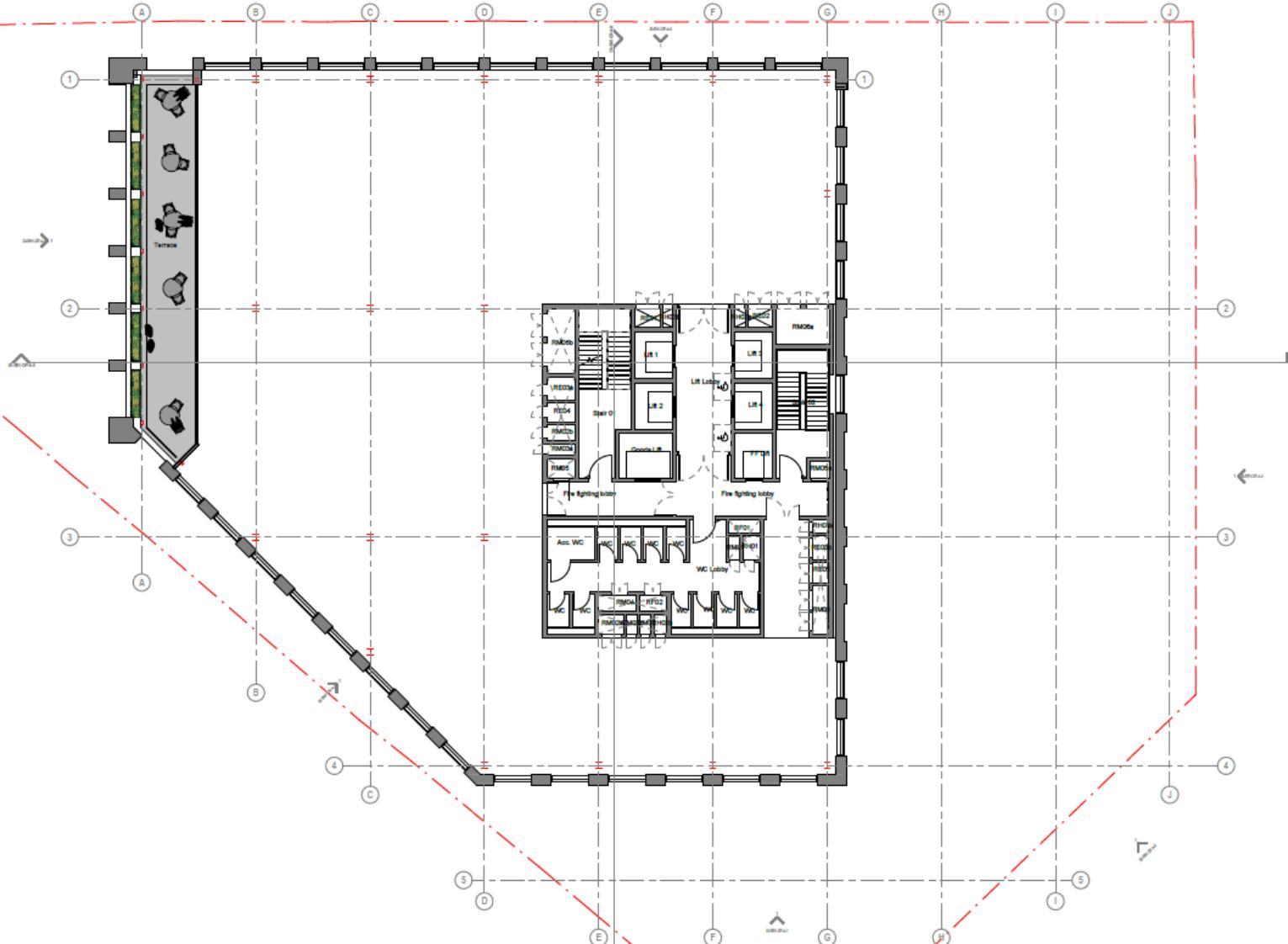
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Project No. 2406

Revision Suitability
P03 / 91

Proposed Floor Level 7

Page 20



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101	25/09/18	Planning	Design Freeze
102	25/09/26	For Planning	
103	25/10/08	For Planning	

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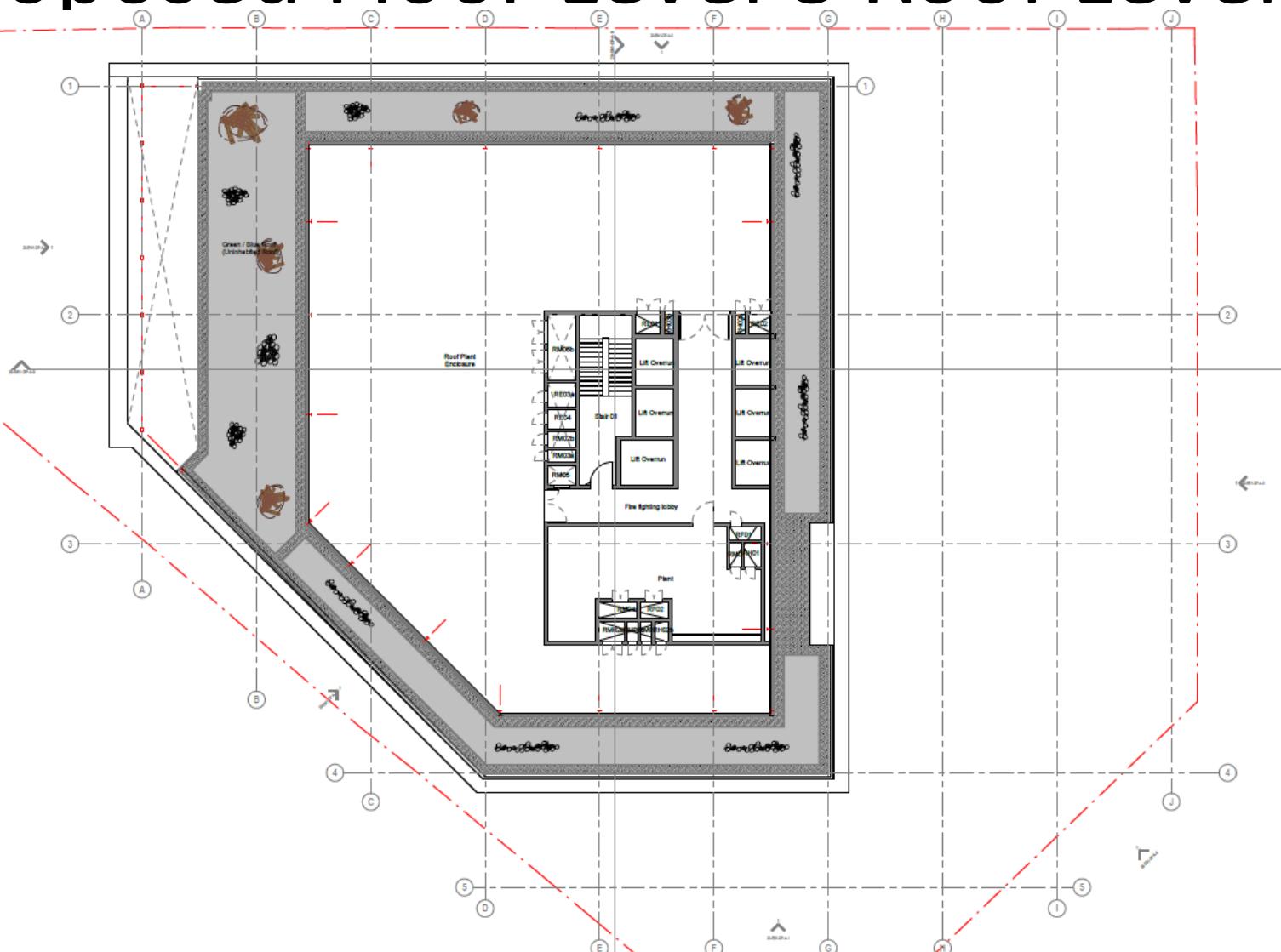
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Drawing Number: 20 Revision/Suitability: KHSE-BAA-20-L07-OP-A-0 P03 / S1

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1:200 1 : 100 25/10/06

Proposed Floor Level 8 Roof Level

Page 21



Rev	Date	Revision	By	Chk
P01	25/09/16	Planning Design Freeze	GN	DD
P02	25/09/25	For Planning	GN	DD
P03	25/10/06	For Planning	GN	DD

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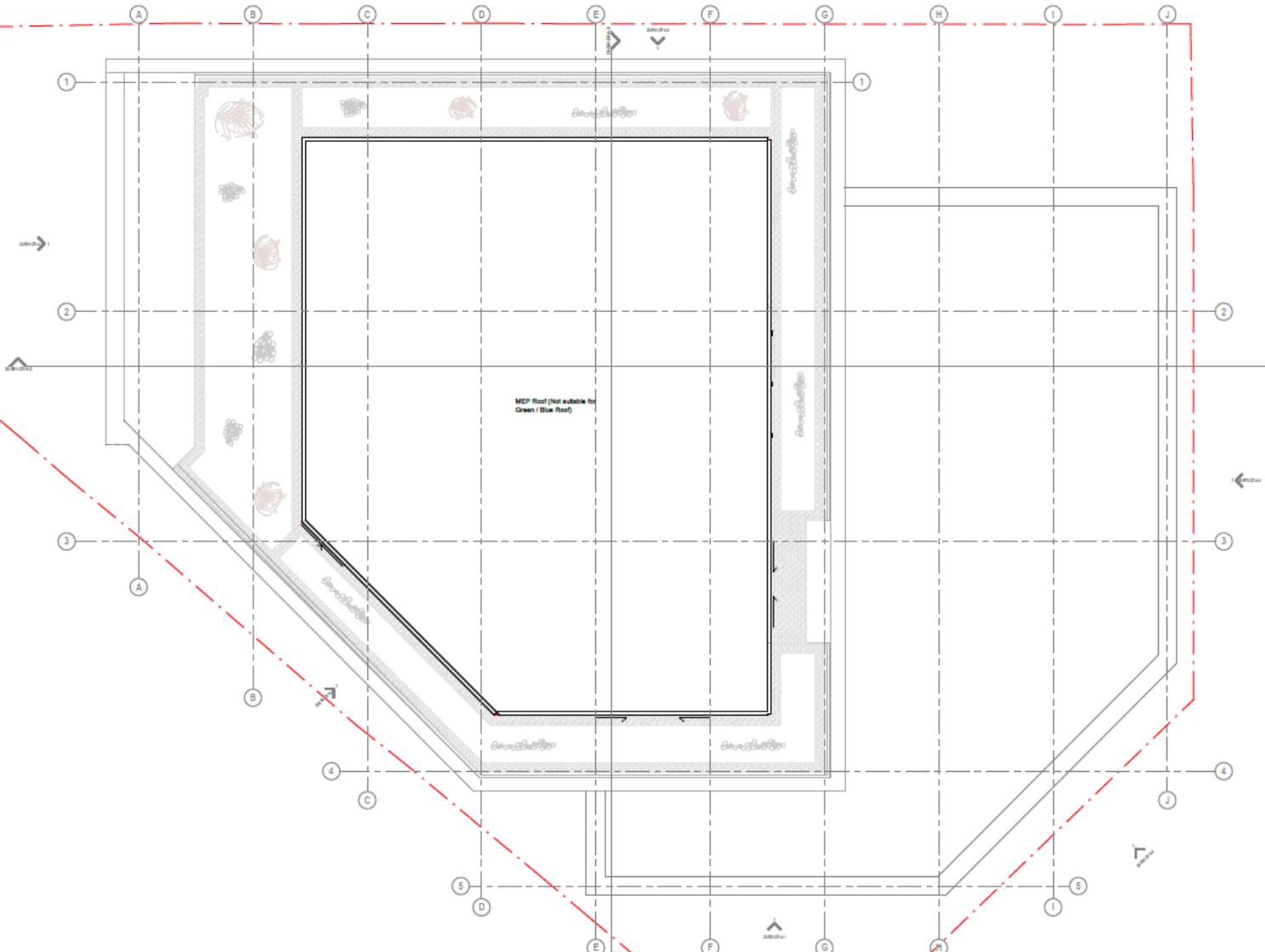
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P03 / 81

Revision Date
25/10/08

Proposed Roof Plan

Page 22



Inv	Date	Revision
01	25/09/15	Planning
02	25/09/15	Design Freeze
03	26/10/06	For Planning
04	26/10/06	For Planning

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P03 / 81

10

Indicative Northern Elevation

Page 24

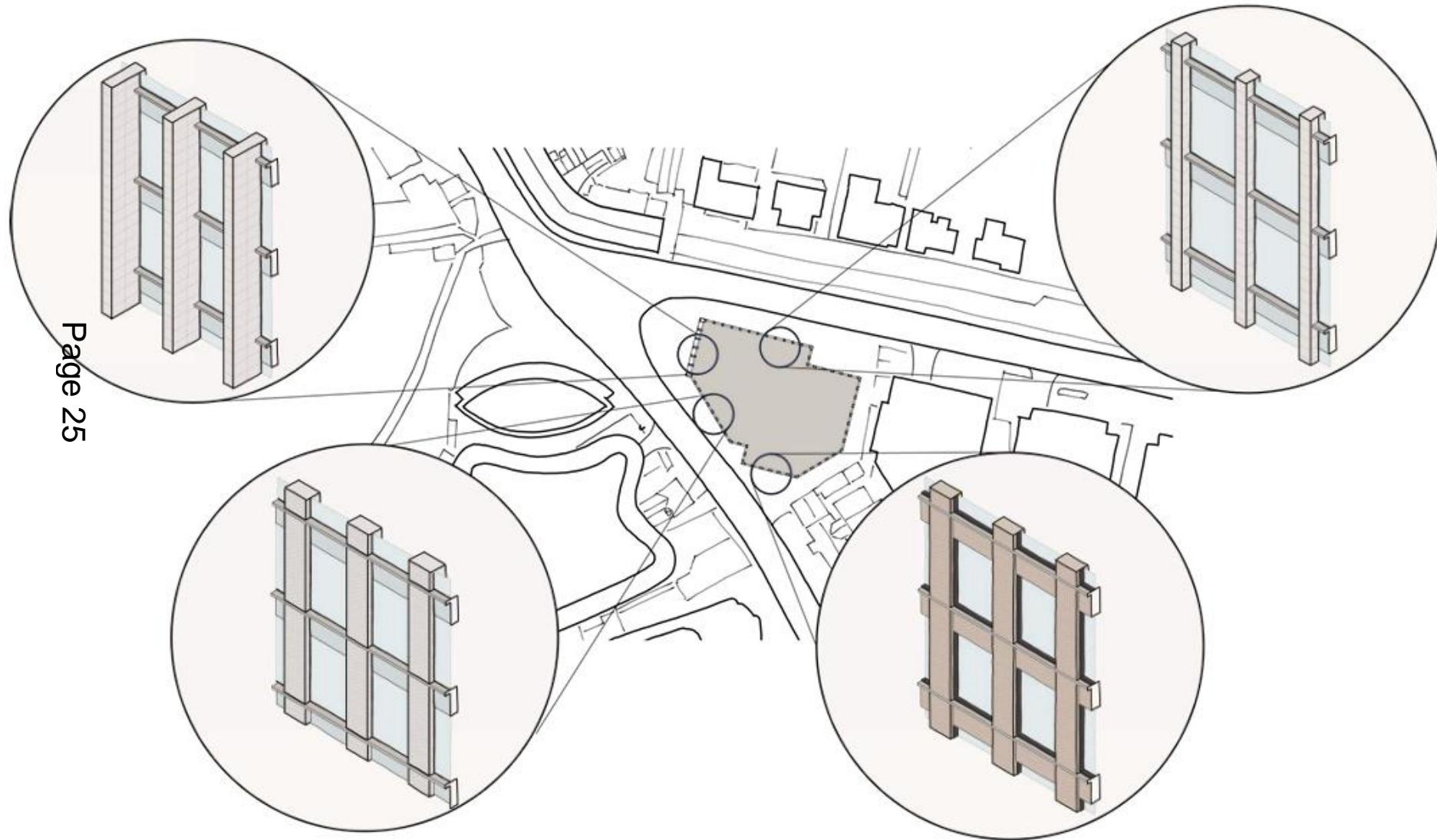


Design Evolution Glazing

8.0 Design Evolution

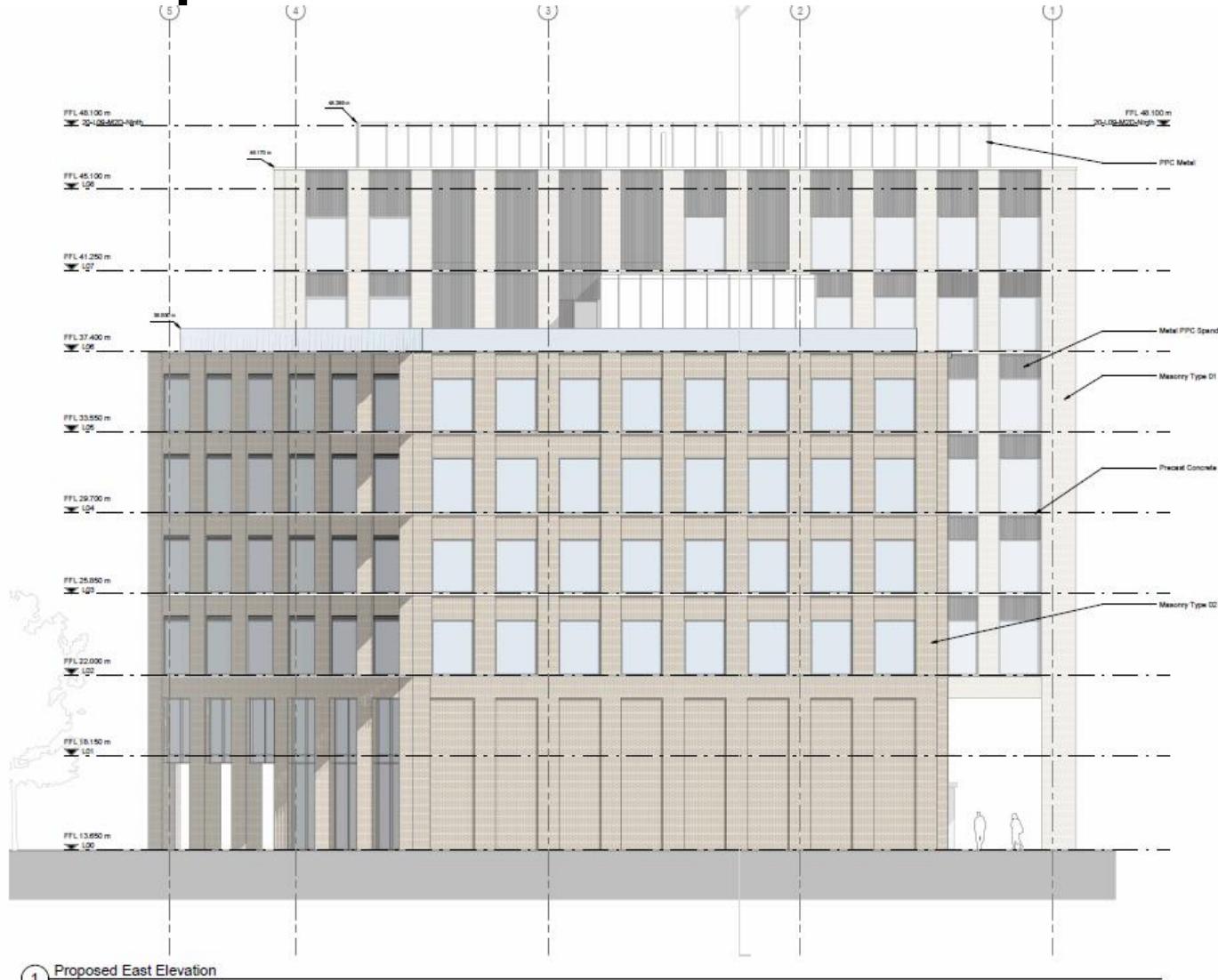
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25

Proposed Eastern Elevation



Rev	Date	Revision
01	25/09/05	Planning Design Freeze
02	25/09/05	For Planning
03	25/10/05	For Planning

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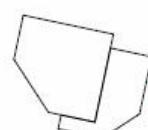
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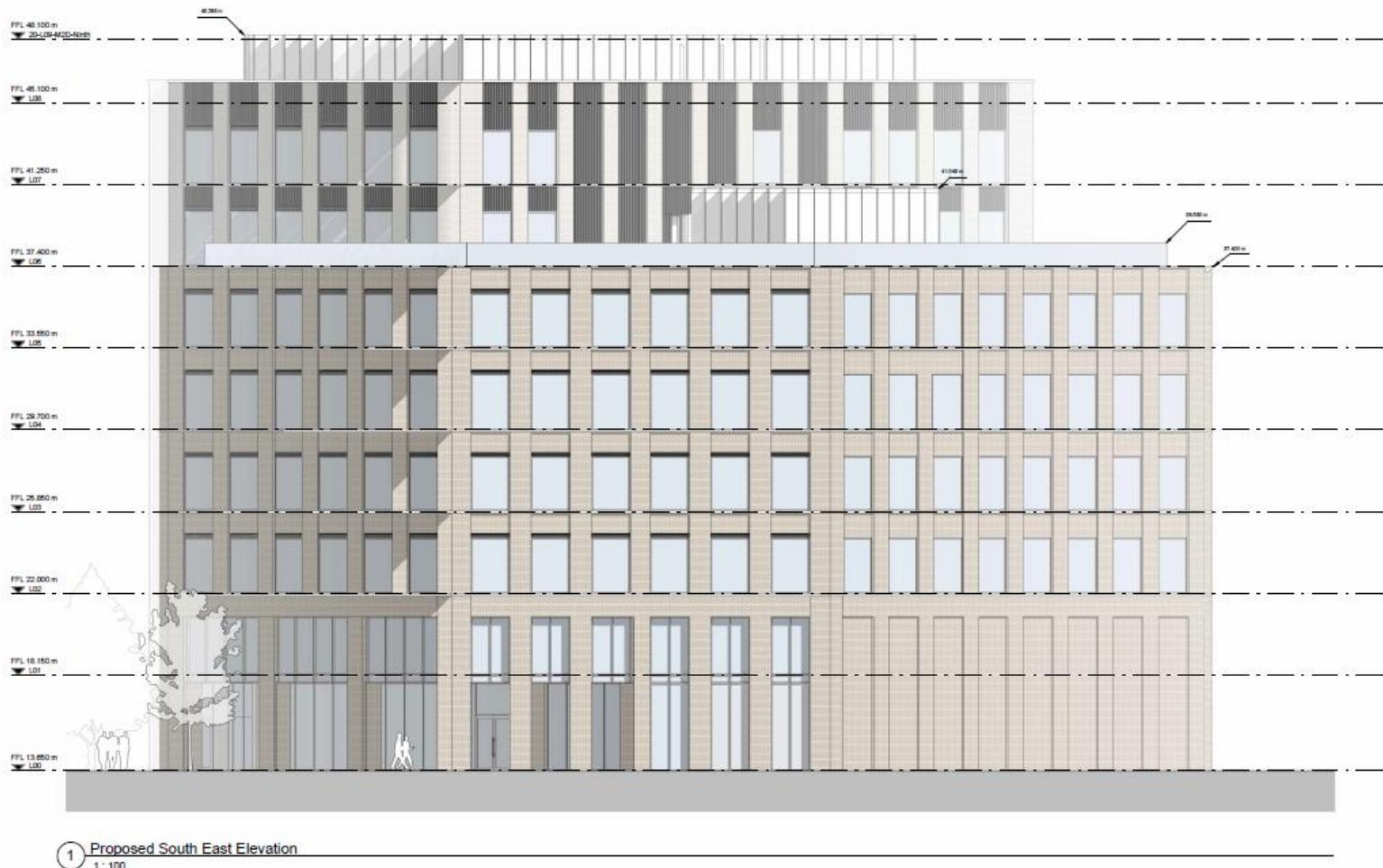
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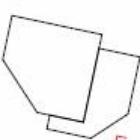
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Proposed South Eastern Elevation



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P01	25/09/15	Planning Design Freeze
P02	25/09/25	For Planning
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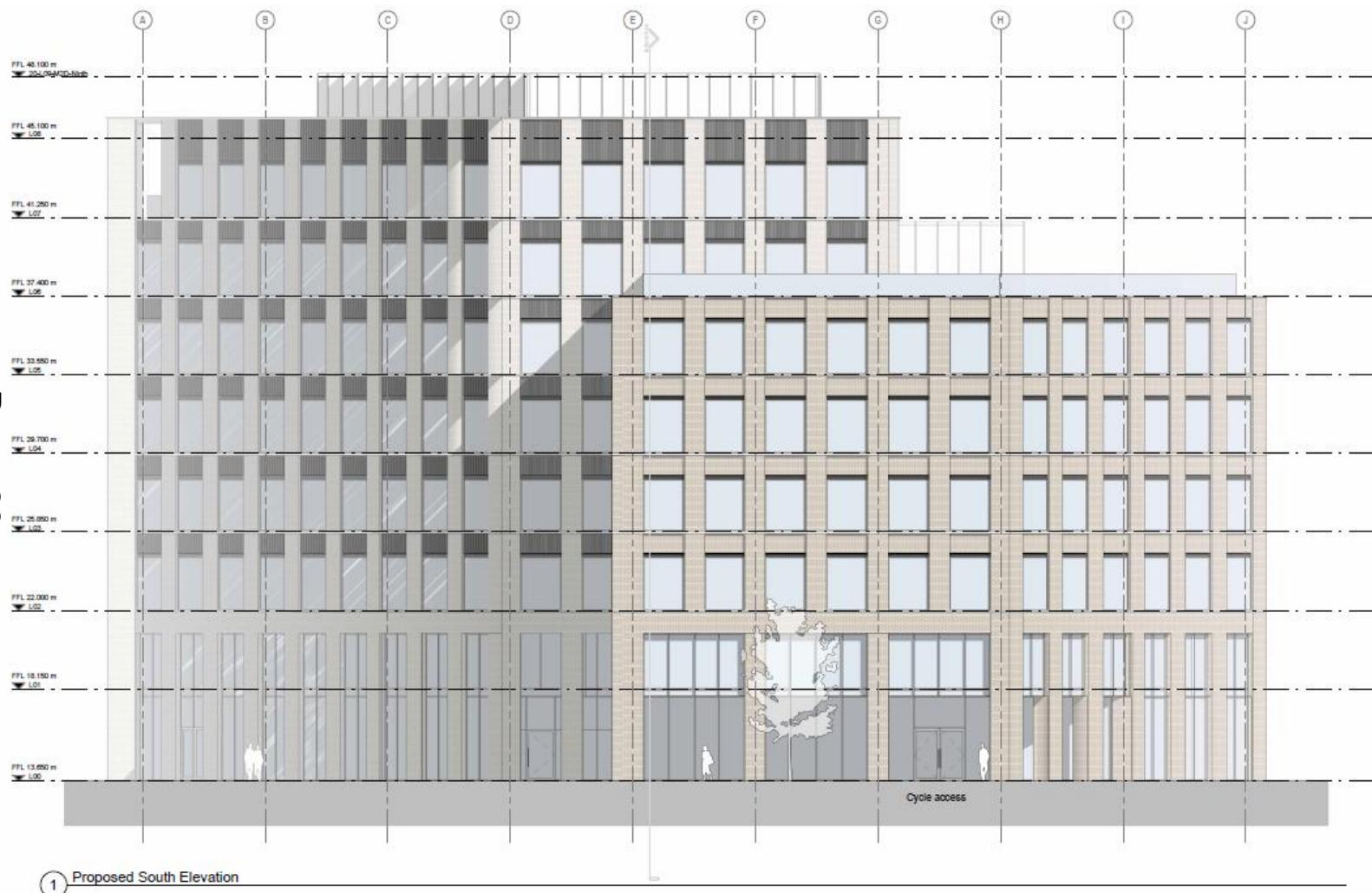
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Proposed Southern Elevation

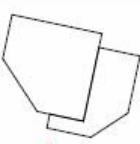
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P01 25/09/26 For Planning
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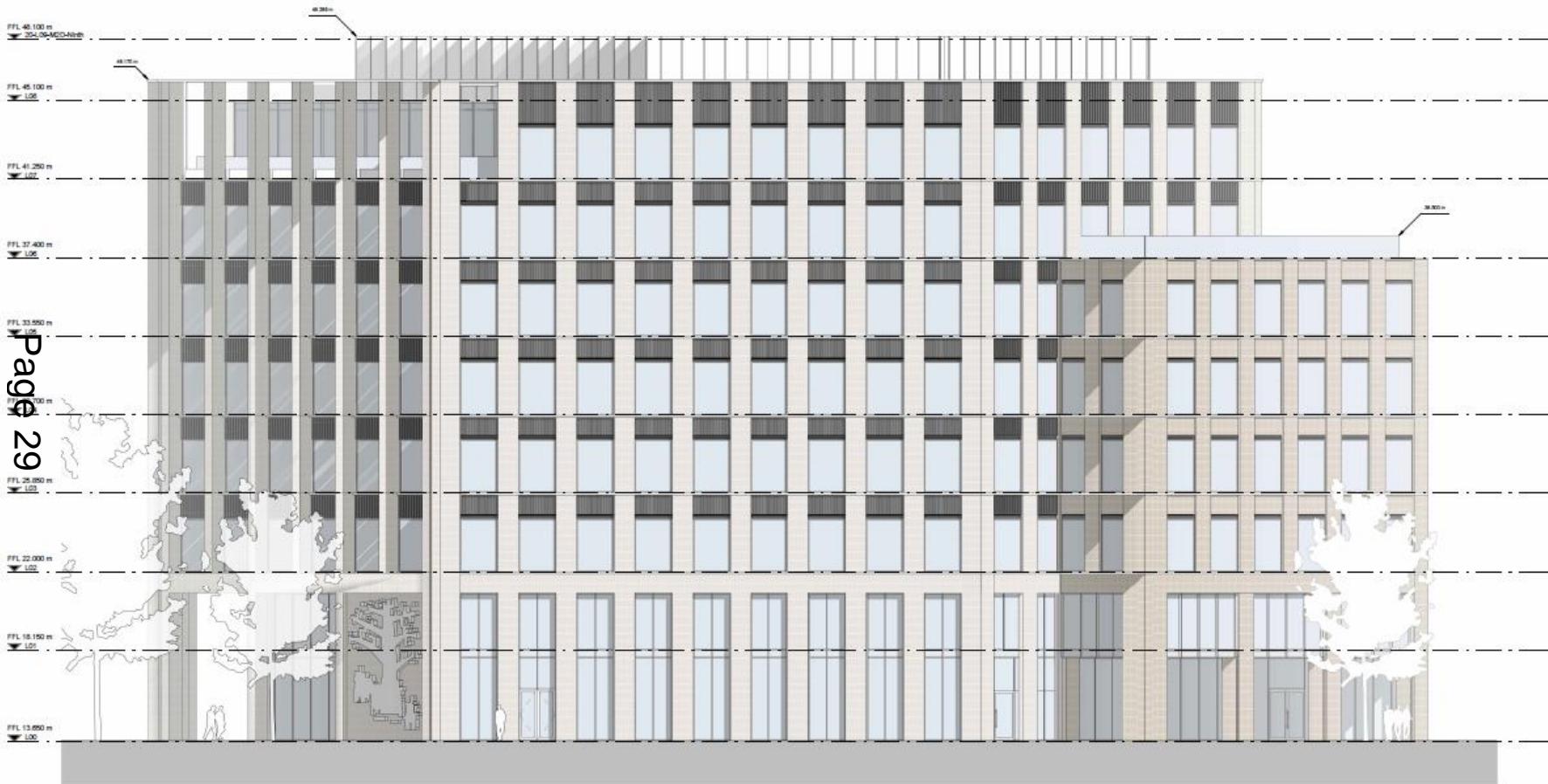
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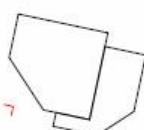
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Revision Number
P02/ 81

Proposed South Western Elevation



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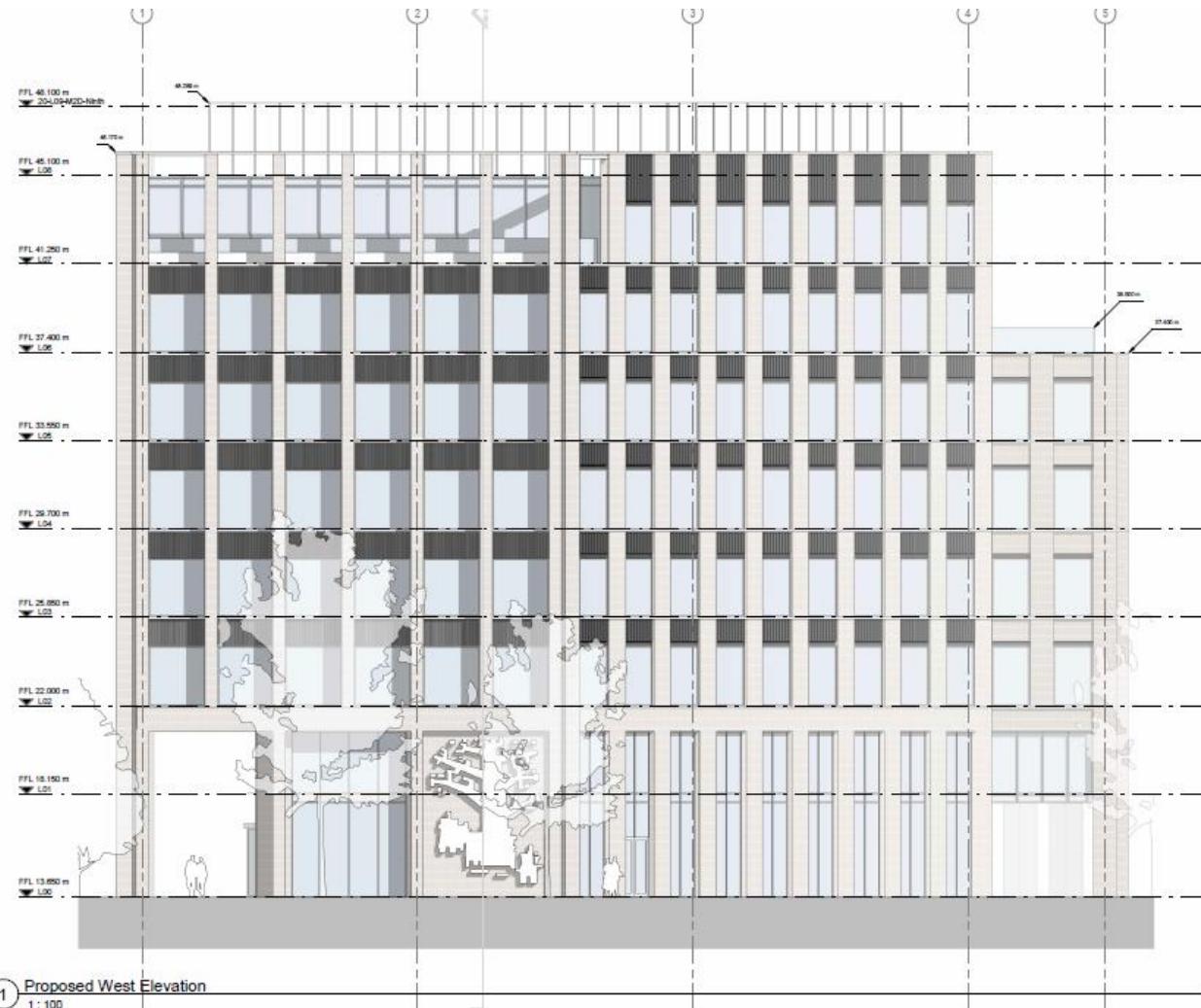
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Resident No. 7402

Proposed Western Elevation

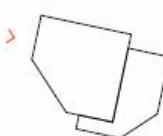


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Rev Date Revision
P01 250918 Planning Design Freeze
P02 250928 For Planning

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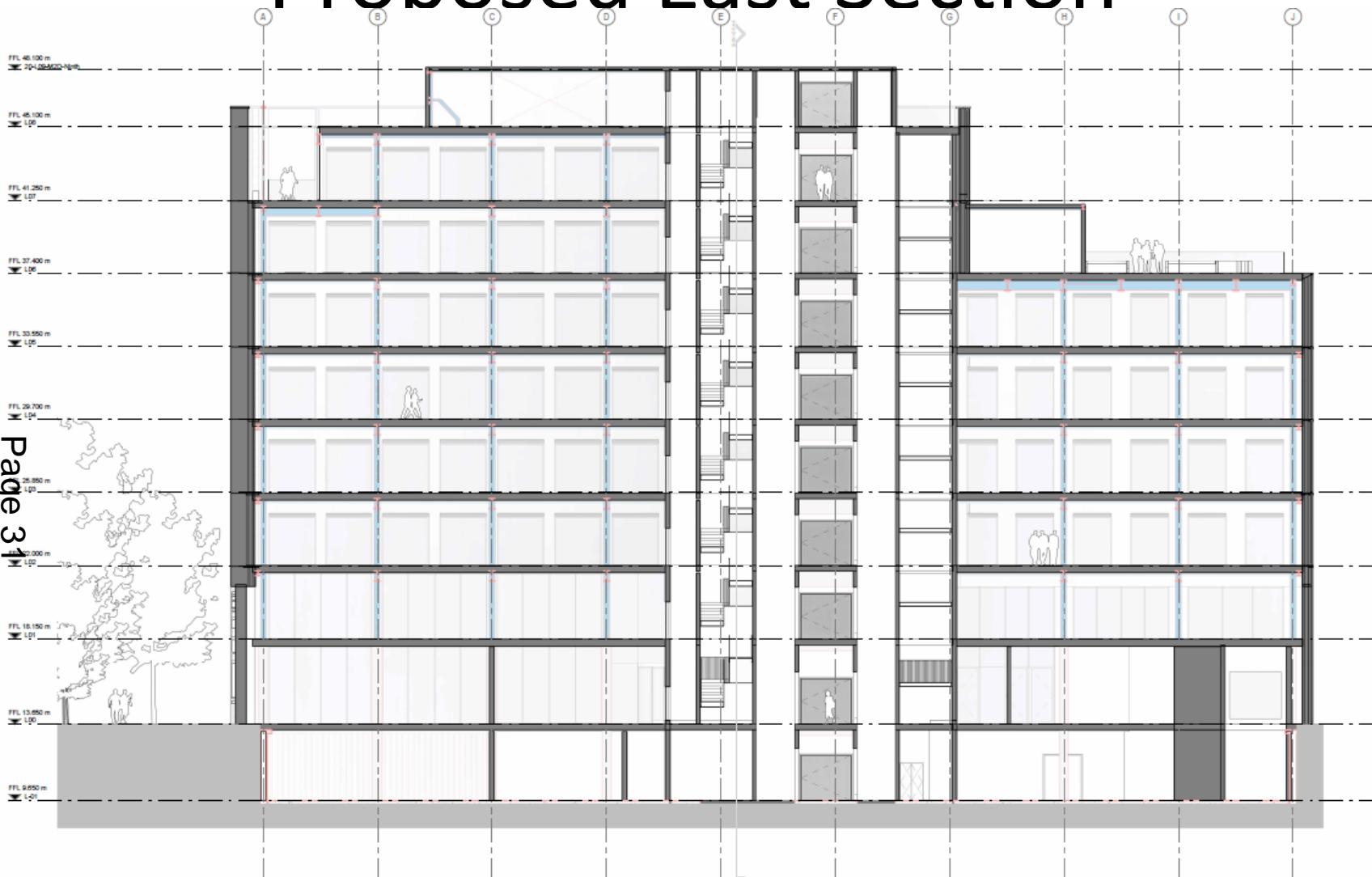
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Drawing Title
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Project No. 2406

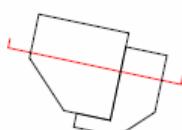
Revision Guide

Proposed East Section



Dev	Date	Revision
001	25/09/18	Planning Design Freeze
002	25/09/18	For Planning
003	25/10/18	For Planning

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Project
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Plan

Drawing Title
General Arrangement
Proposed East Section

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Project No. 2480

Revision Suitability

Page 6

Execution Data

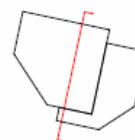
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Proposed North Section



Rev	Date	Revision	By	Comments
101	25/09/18	Planning Design Freeze	GN	Design
102	25/09/26	For Planning	GN	Design
103	25/10/06	For Planning	GN	Design



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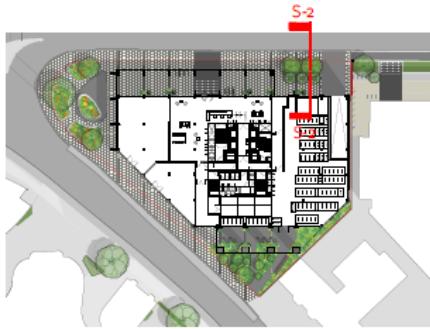
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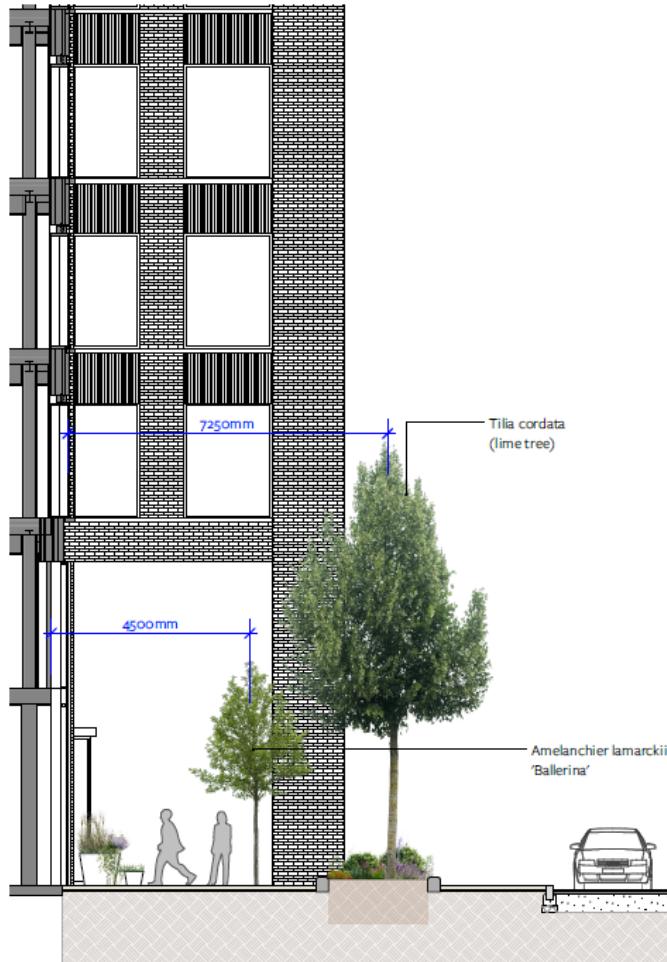
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Scale @ A3 Scale @ A1 Revision Date
1:200 1:100 25/10/06

Proposed Station Road Section



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S2 Station Road Section
Scale 1:100 @ A3 @ XX

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P01	25.03.25	First Issue	TH
P02	29.04.25	Updated dimensions	SB
P03	10.06.25	Updated arrangement	SB
P04	07.08.25	Updated arrangement	HM
P05	05.09.25	Column planters removed	HM
P06	24.09.25	Label updates	HM
P07	29.09.25	Building update	HM
Rev:	Date:	Description:	Drawn by:

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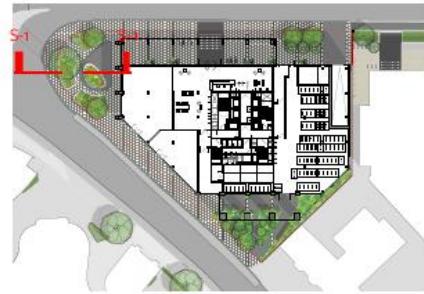
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Checked:		PM Checked:	RM
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Status:	S2		
Revision:	P07		

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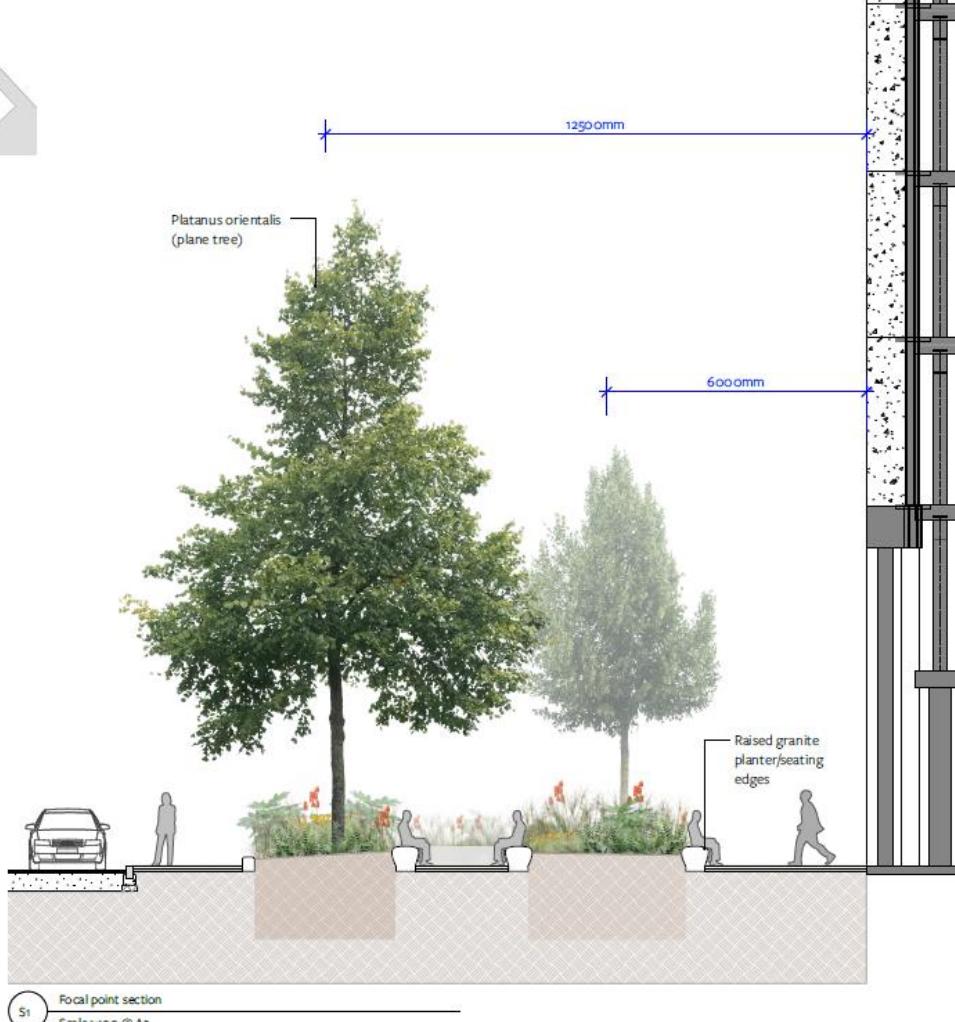
Station Road Colonnade



Proposed Junction Section



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NOTES

DO NOT SCALE FROM THIS DRAWING
 Contractors, sub-contractors and suppliers are to verify any critical dimensions on site prior to commencing work, fabrication or construction of any elements.
 Any discrepancies or errors must be brought to the attention of Robert Myers Associates.
 All structural elements are shown indicatively. For all elements of structure, refer to structural engineers' and specialist sub-contract/fabricators' design, detail and specification.
 The drawings are to be read in conjunction with all relevant landscape architect, consultant and specialist drawings.
 This drawing is to be read specifically in conjunction with: XXX-RMA-XX-XX-DR-L-XXXXXX

P01	25.03.25	First Issue	TH
P02	29.04.25	Updated dimensions	SB
P03	10.06.25	Updated arrangement	SB
P04	07.08.25	Updated arrangement	HM
P05	05.09.25	Kerb line change	HM
P06	24.09.25	Label updates	HM
P07	29.09.25	Building update	HM
Rev:	Date:	Description:	Drawn by:

REVISIONS

Status:	S2 - FOR INFORMATION		
Client:	Stanhope		
Project Title:	Kett House		
Drawing:	Section 01		
Scale:	1:100 @ A3	Drawn By:	TH
Drawn Date:	March 2025	RMA Project No:	857_01
Checked:	PM	Checked:	RM
Drawing Number:	KHSE-RMA-ZZ-ZZ-DR-L-04001		
Status:	S2		
Revision:	P07		

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Spot heights along Station south section



Sustainability

Sustainability Targets

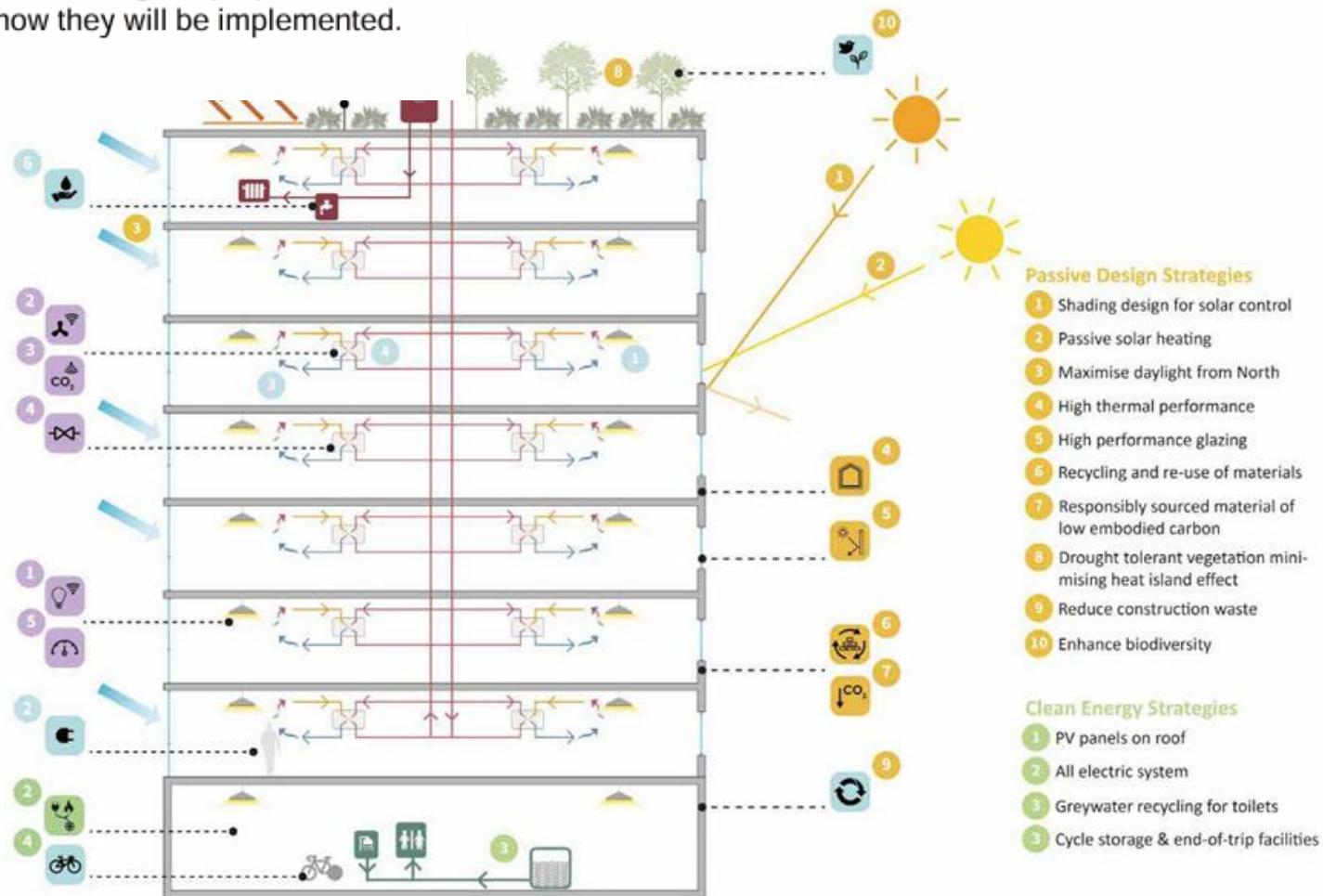
Conceptual section diagram illustrating the proposed sustainability strategies and how they will be implemented.

System Design Strategies

- 1 LED lighting
- 2 Remote tenant small power consumption
- 3 Potential for mixed mode ventilation with heat recovery
- 4 On floor airflow supply with low SFPs
- 5 ASHP with heat recovery for heating & DHW
- 6 Efficient fittings to reduce water consumption

Smart Control Strategies

- 1 PIRs and daylight controls
- 2 Demand control airflow
- 3 CO₂ sensors
- 4 Flow controller - constant duct pressures
- 5 Smart metering
- 6 Local weather station controlled BMS system



Sustainability

Sustainability Targets Table

The table compares the Kett House sustainability targets to those outlined in Cambridge Policy and other specified minimum standards.

Sustainability Targets	
Environmental Ratings	
   	<ul style="list-style-type: none"> BREEAM Excellent WELL Gold enabled NABERS 4.5* WiredScore Platinum RICS 2
Building Services	
   	<ul style="list-style-type: none"> All electric systems Minimise water use by 55% Greywater recycling ASHPs with heat recovery All electric systems Photovoltaics Smart controls LED lighting with PIR and daylight controls Low specific fan powers
Materials	
 	<ul style="list-style-type: none"> High thermal performance High performance glazing Opportunities for reuse

	Cambridge Policy/Minimum Standards	Kett House Targets
 BREEAM	<ul style="list-style-type: none"> BREEAM pre-assessment Excellent 	<ul style="list-style-type: none"> Excellent on V6.1
 Embodied Energy	<ul style="list-style-type: none"> Circular economy principles based on UKGBC Reuse material from demolition of existing building Sustainable procurement plan and responsible resourcing (BREEAM Mat03) 	<ul style="list-style-type: none"> Pre-demolition audit undertaken, re-use and recycling opportunities identified Circular Economy GLA methodology Conduct a Sustainable procurement plan and responsible sourcing (BREEAM Mat03) RICs WLC Assessment A1-A5, <600 kgCO2/m2, LETI Good building design
 Operational Energy	<ul style="list-style-type: none"> BREEAM Ene 01>4 credits 	<ul style="list-style-type: none"> NABERS 4.5* BREEAM Ene 01>4 credits
 Net Zero	<ul style="list-style-type: none"> Integrate renewables and LZC technologies (BREEAM Ene04) 	<ul style="list-style-type: none"> Integrate renewables and LZC technologies (BREEAM Ene04) EPC A
 Biodiversity	<ul style="list-style-type: none"> All development proposals should seek to conserve and enhance biodiversity 	<ul style="list-style-type: none"> Minimum 20% Net Gain for biodiversity (BREEAM LE02-04) (Cambridge aspiration)
 Water Consumption	<ul style="list-style-type: none"> 55% reduction in water consumption against baseline (BREEAM Wat01 5 credits) Min. Part G 2010 requirements 	<ul style="list-style-type: none"> >55% reduction in water consumption against baseline (BREEAM Wat01 5 credits) Drought tolerant planting Greywater recycling for toilets.
 Waste	<ul style="list-style-type: none"> Reduce construction waste and conduct a Site Waste Management Plan (BREEAM Wst 01 RMP) 	<ul style="list-style-type: none"> Conduct a Site Waste Management Plan (BREEAM Wst01 RMP) Reduce construction waste to <6.5t/100m2GIA (BREEAM Wst01 2 credits)
 Smart Buildings	<ul style="list-style-type: none"> Integration of smart technologies 	<ul style="list-style-type: none"> WiredScore Platinum

Sustainability

More with Less

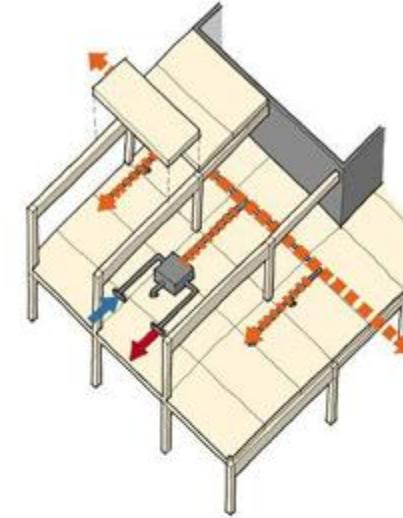
Several cutting edge and innovating design techniques, driven by a push to deliver a resource conscious and genuinely sustainable building are being incorporated into this scheme. Primarily these resolve around simplifying construction techniques and using better, lower carbon materials to significantly reduce both the embodied and operational carbon impact of the scheme. Additional ancillary benefits include reductions in construction waste, improved speed of construction, end of life demountability and reuse, and reduced site deliveries and logistics through construction.



A Hybrid steel and timber frame, mechanically fixed, with a jump form concrete core allows for a significant reduction in embodied carbon versus a traditional concrete slab and column construction. Additionally, the mechanically fixed nature of the superstructure allows for easy dismantling at end of life, if required. Further opportunities for material passporting will be explored in the next stages to enhance this process. The hybrid timber and steel structure, aside from offering a carbon reduction in the building superstructure, also offers a significant reduction in the size, and thereby embodied carbon within, the foundations.

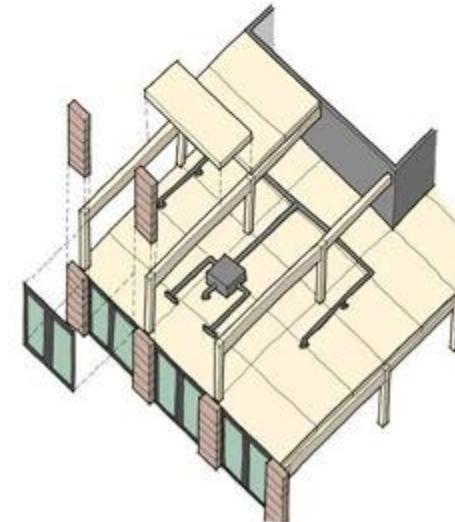
Decentralised plant systems are being explored as a modern alternative to traditional roof based plant. There are significant benefits available in operational carbon, as well as embodied carbon savings through a significantly reduced reliance on fire dampers throughout the building. This simplifies the MEP systems throughout.

is to



Services

Modular, decentralised MVHR units.



Glazing Units

Less stuff, less cost, less carbon.

Materials and Detailing

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Facade Bay Study (Smaller Block)
Sandstone Facade



Facade Bay Study (Taller Block)
Limestone Facade

Modelling

Massing options have been explored both digitally and physically with a series of models, offering the team and the planning officers the opportunity to review the scheme in context throughout the pre application process.

Process Model



Proposal in Context
Process Model

Kett Oak



Student Services Centre, University of Cambridge
A present of a maintained historic piece within a contemporary
proposal



Kett Oak Sculpture
In its current location on the existing building facade.



Plan of proposed new sculpture location
Located in a recessed panel on the ground floor facade (highlighted in yellow on the above plan), fronting onto the public realm for maximum visibility and engagement.

Landscaping

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Indicative Landscaping

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Planter edges as seats
Kett Oak Gardens



Rain garden
Southern Market Park

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Public realm paving
Throughout proposed landscape design

Planter examples
Kett Oak Gardens

Visualisations – Viewpoint 3



Visualisations – Viewpoint 4



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Visualisations - Existing viewpoint 6



Visualisations – Viewpoint 6

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Visualisations – Viewpoint 8



Visualisations – Viewpoint 10

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Visualisations – Viewpoint 12



Visualisations – Viewpoint 13



Visualisations – Viewpoint 16

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Planning Balance

Approval

Key material considerations

Regeneration of a brownfield site

High quality hybrid steel and GLT design

Public realm improvements

Meets high quality office need in key Central Business District location

Complete CB1 Station Road regeneration

Biodiversity net gain of more than 30%



Refusal

Key material considerations

Lower level of harm to setting of designated and non-designated heritage assets mainly through form and scale of building

Foul water capacity at Cambridge Water Recycling Centre

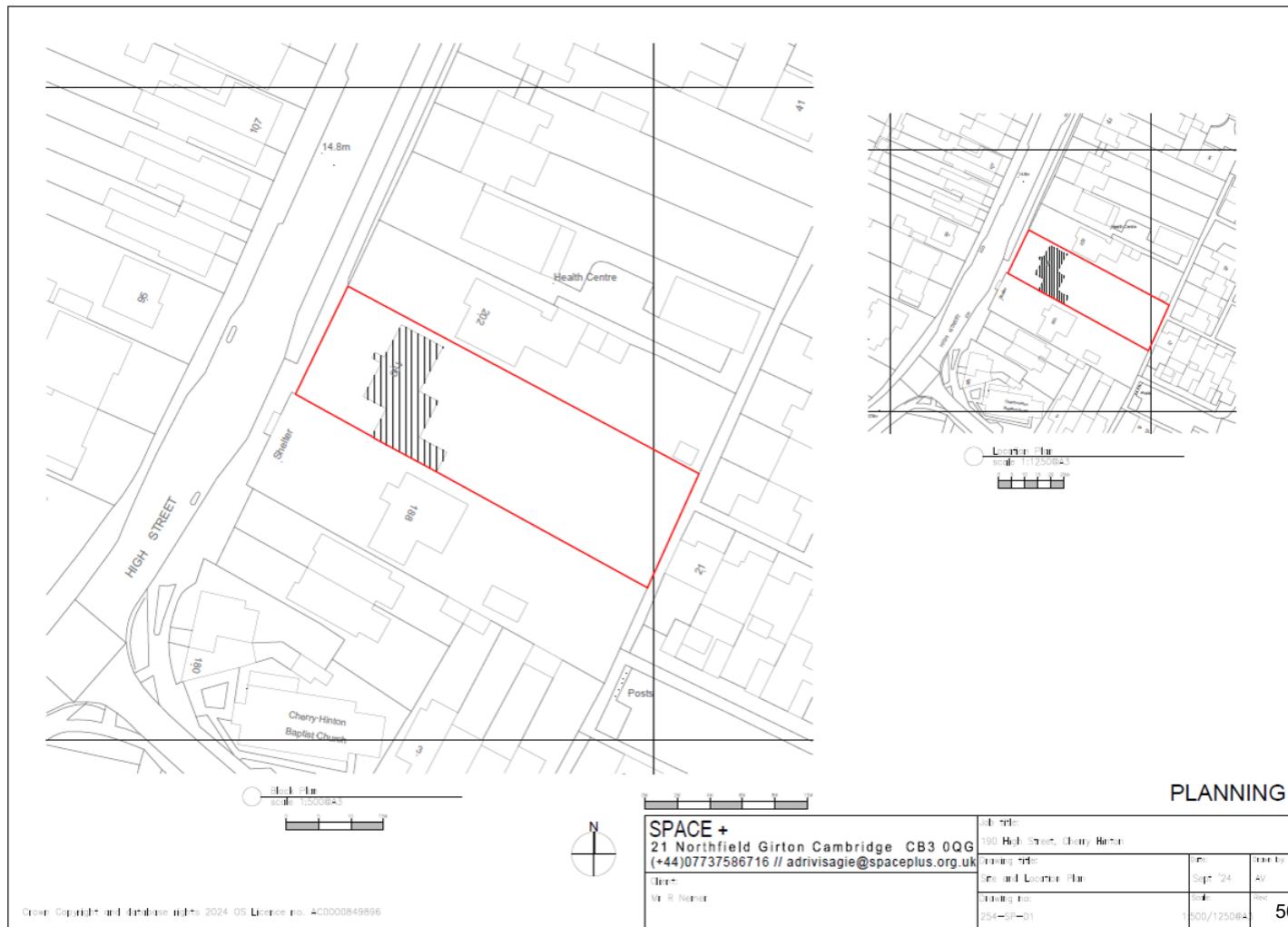
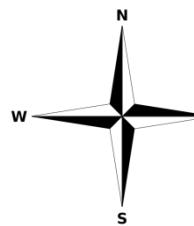
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MINOR APPLICATIONS

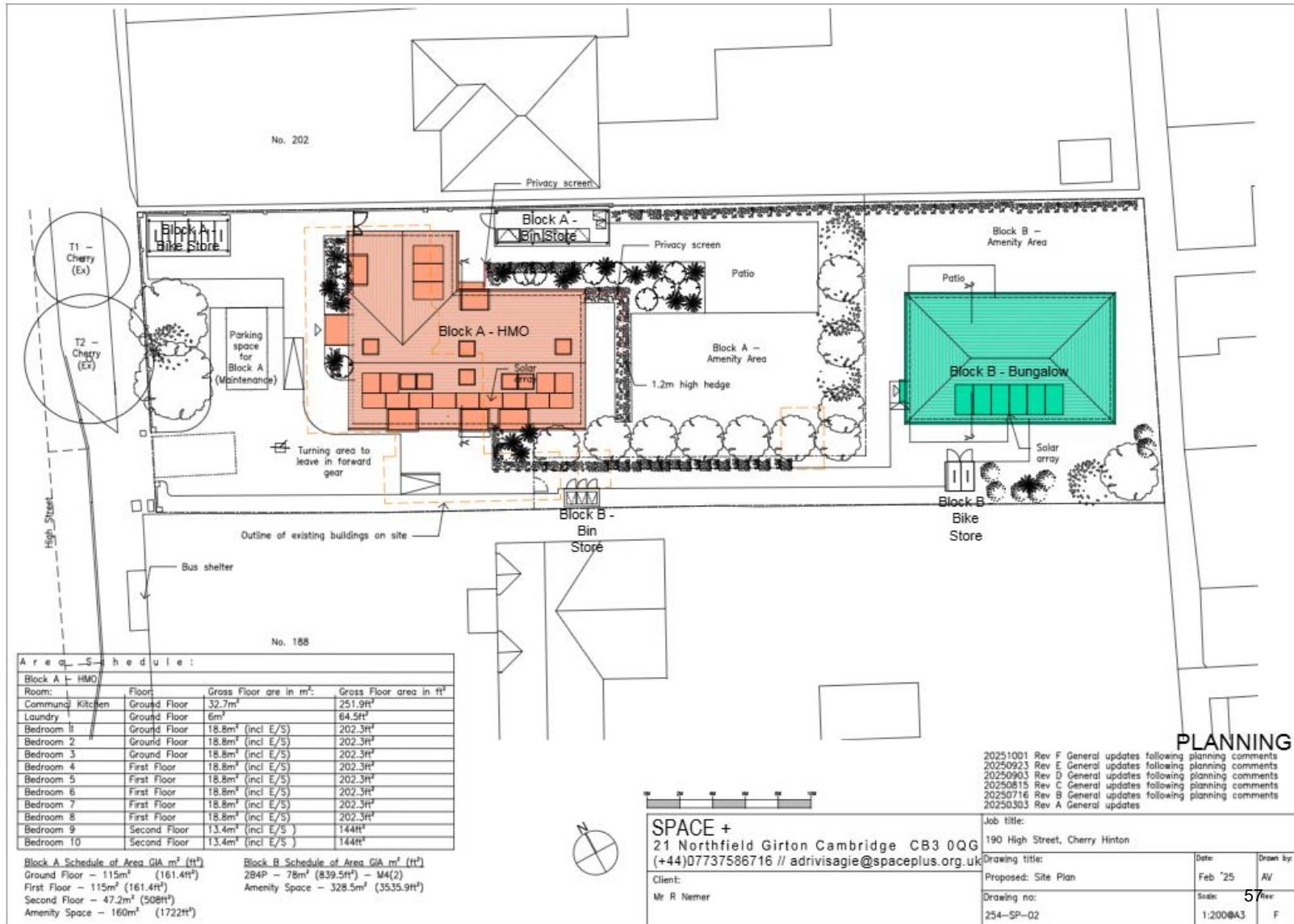
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190 High Street, Cherry Hinton Site Location Plan

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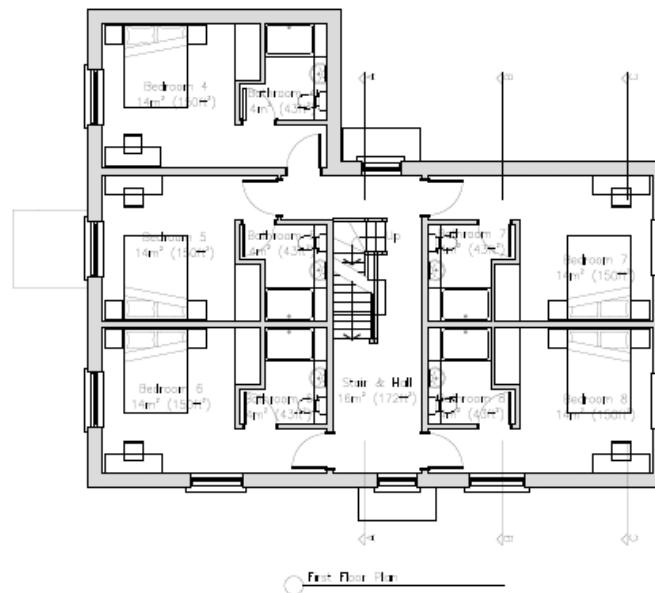
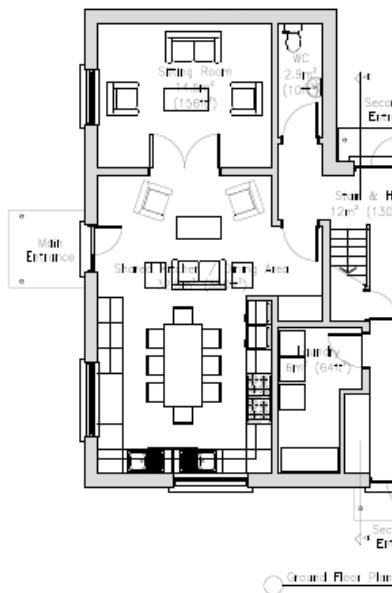


Site Plan - Proposed



Block A – Floor Plans

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PLANNING

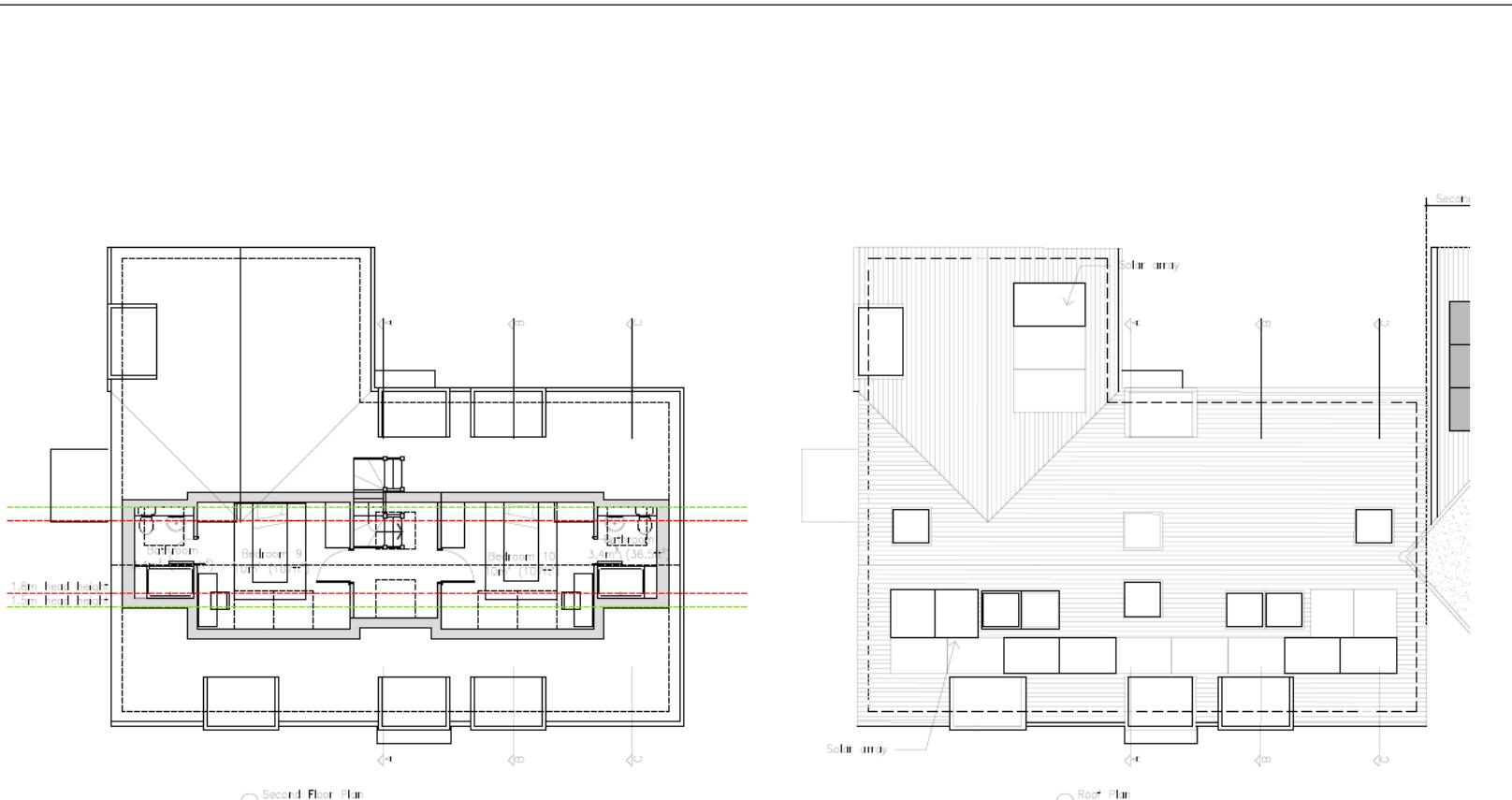
20251125 Rev C Bedroom 1 removed and sitting room added
 following planning comments
 20250904 Rev B General updates following planning comments
 20250815 Rev A General updates following planning comments



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Planning Ref:	254-SP-03
Date:	1:1000A3
Page:	Rev C
Planning Ref:	58
Date:	20/02/2026
Page:	A/

Block A – Floor Plans

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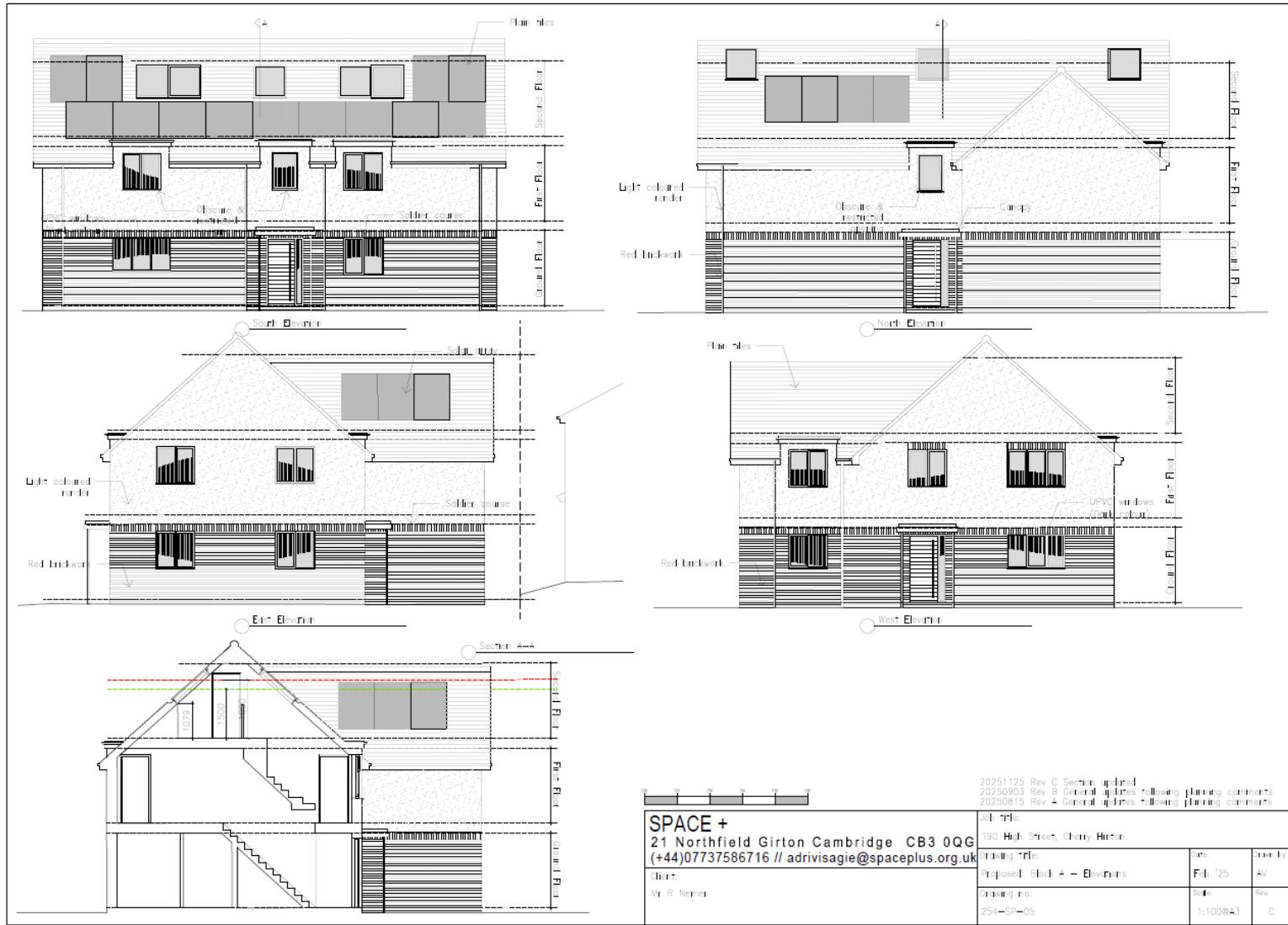


PLANNING	
20251125 Rev B Section B-3 & C-C and 20250815 Rev A General updates following planning comments	
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190 High Street, Cherry Hinton	
Planning Ref:	Ref 59
Proposed: Block A - Plans	Issue Date: AV
Planning no:	Scale:
254-SP-04	1:100@A3
	Rev: B

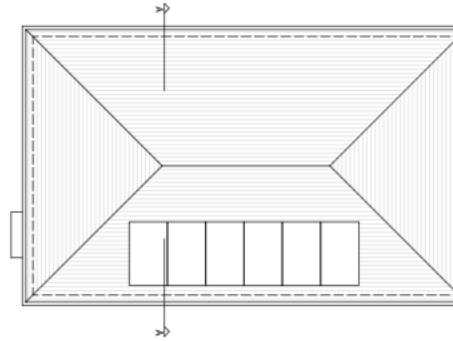
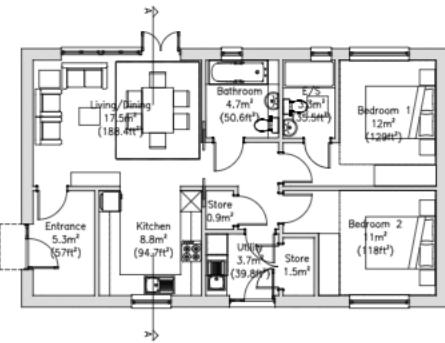
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Client:
Mr R Nemer

Block A – Elevations



Block B – Floor Plans



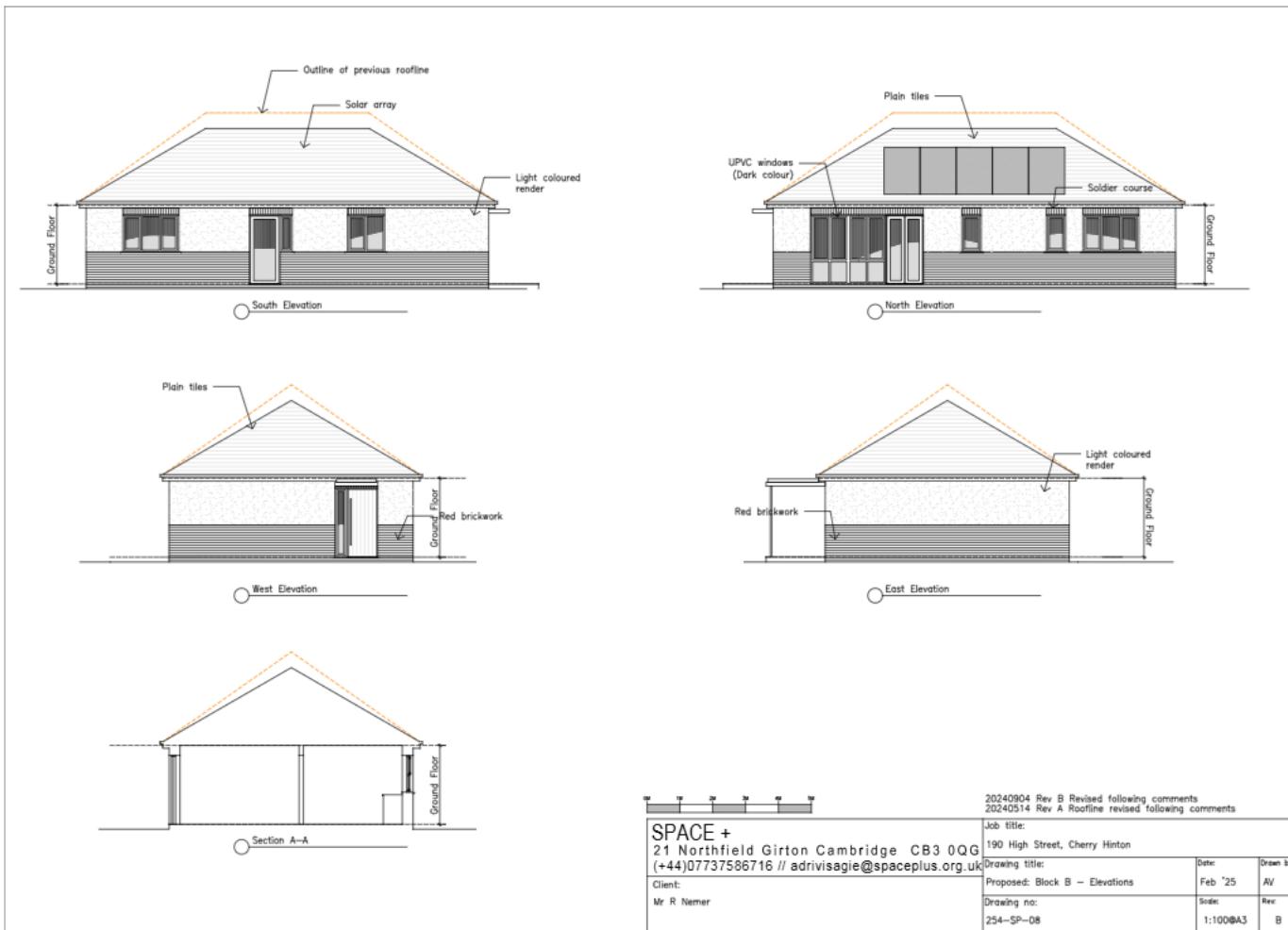
PLANNING
20240904 Rev A Revised following comments

Job title: 190 High Street, Cherry Hinton	Date: Feb '25	Drawn by: AV
Drawing title: Proposed: Block B – Plans		
Drawing no: 254-SP-07	Scale: 1:100@A3	Rev: A

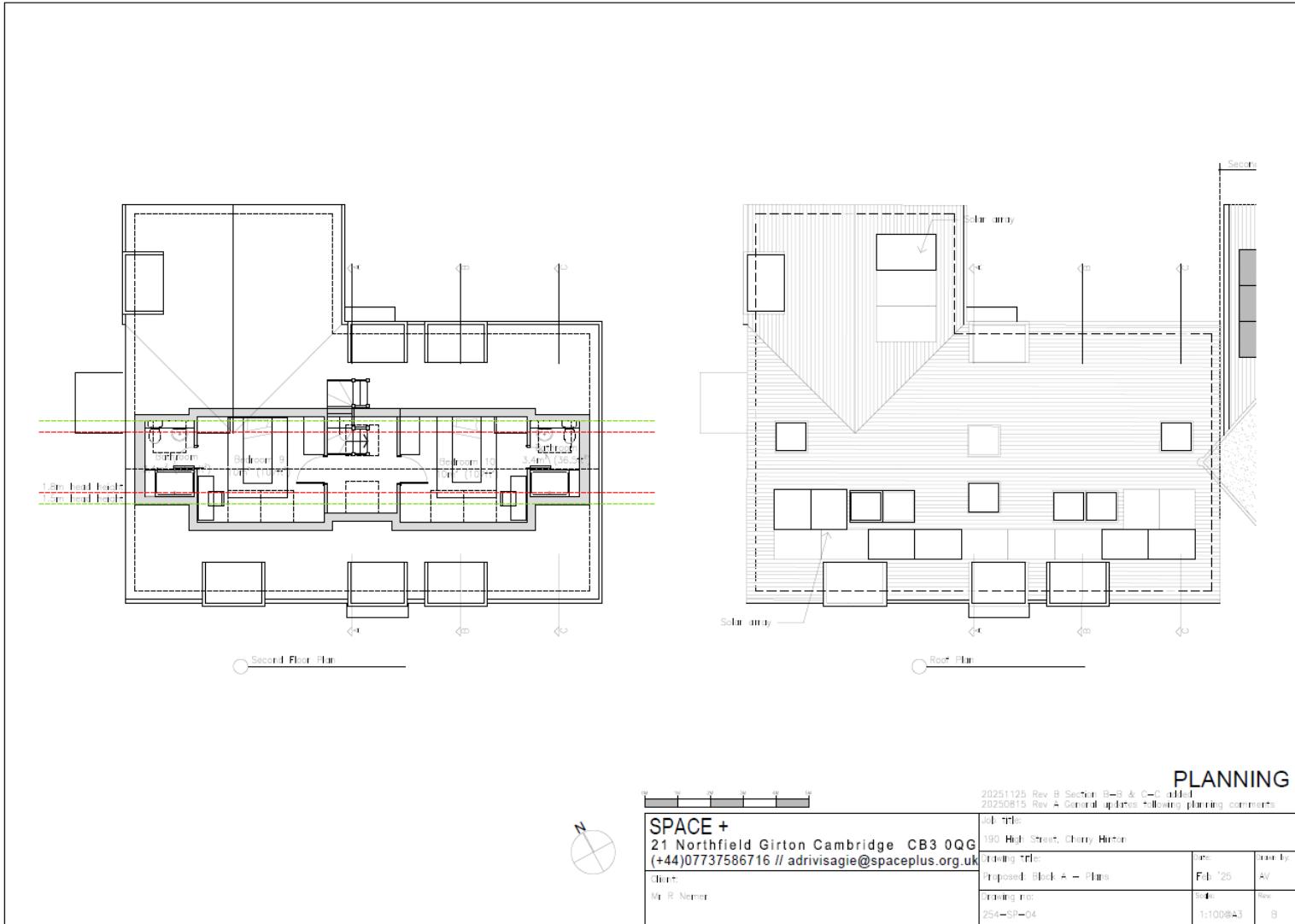
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Client:
Mr R Nemer

Block B – Elevations



Block A – Floor Plans



Planning Balance

Approval

Key material considerations

Residential accommodation (large HMO) and a two-bedroomed bungalow
Sustainable location.

Ecological enhancements to achieve statutory BNG via off-site credits and on-site provision can be conditioned.

Tree planting as part of the landscape scheme.



Refusal

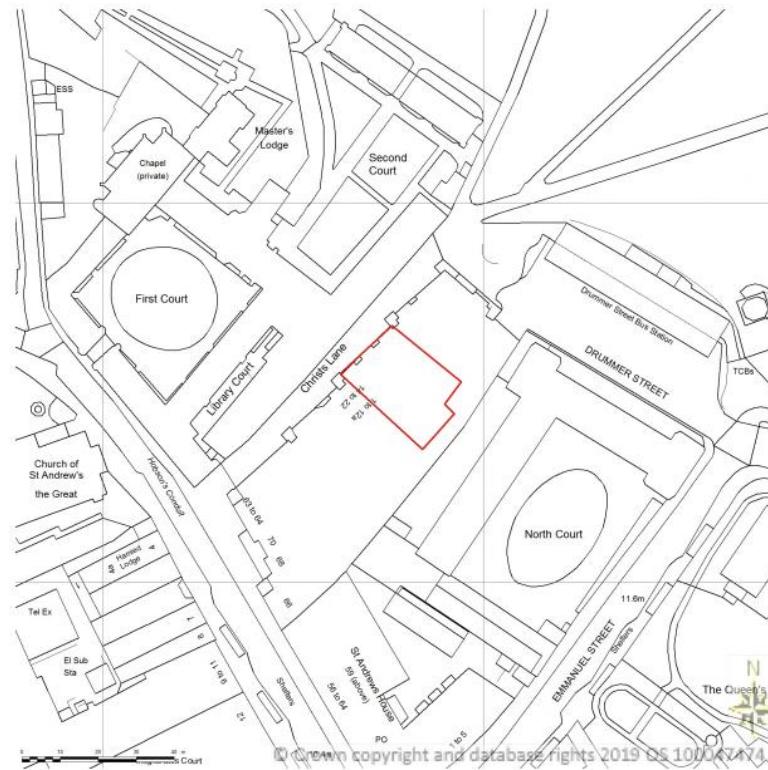
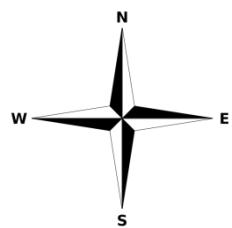
Key material considerations

Increase prominence in street scene

25/02660/S73

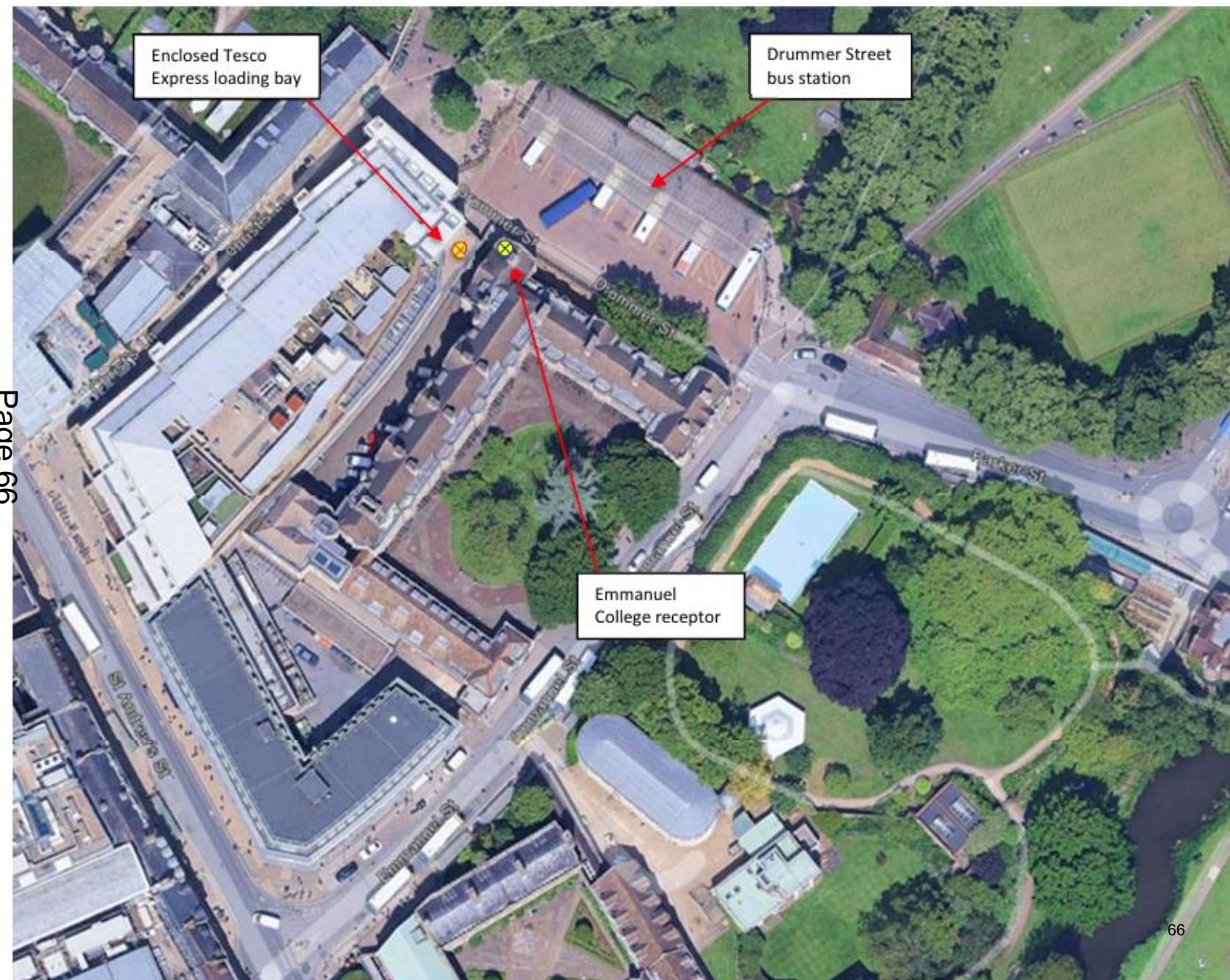
*Units 5 and 6 Christs Lane
Cambridge CB1 1NP*
Site Location Plan

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Appendix A: Tesco Express, Christ's Lane, Cambridge site plan



Unloading
bays



FIGURE 4: Delivery vehicle unloading position

