

Planning Committee

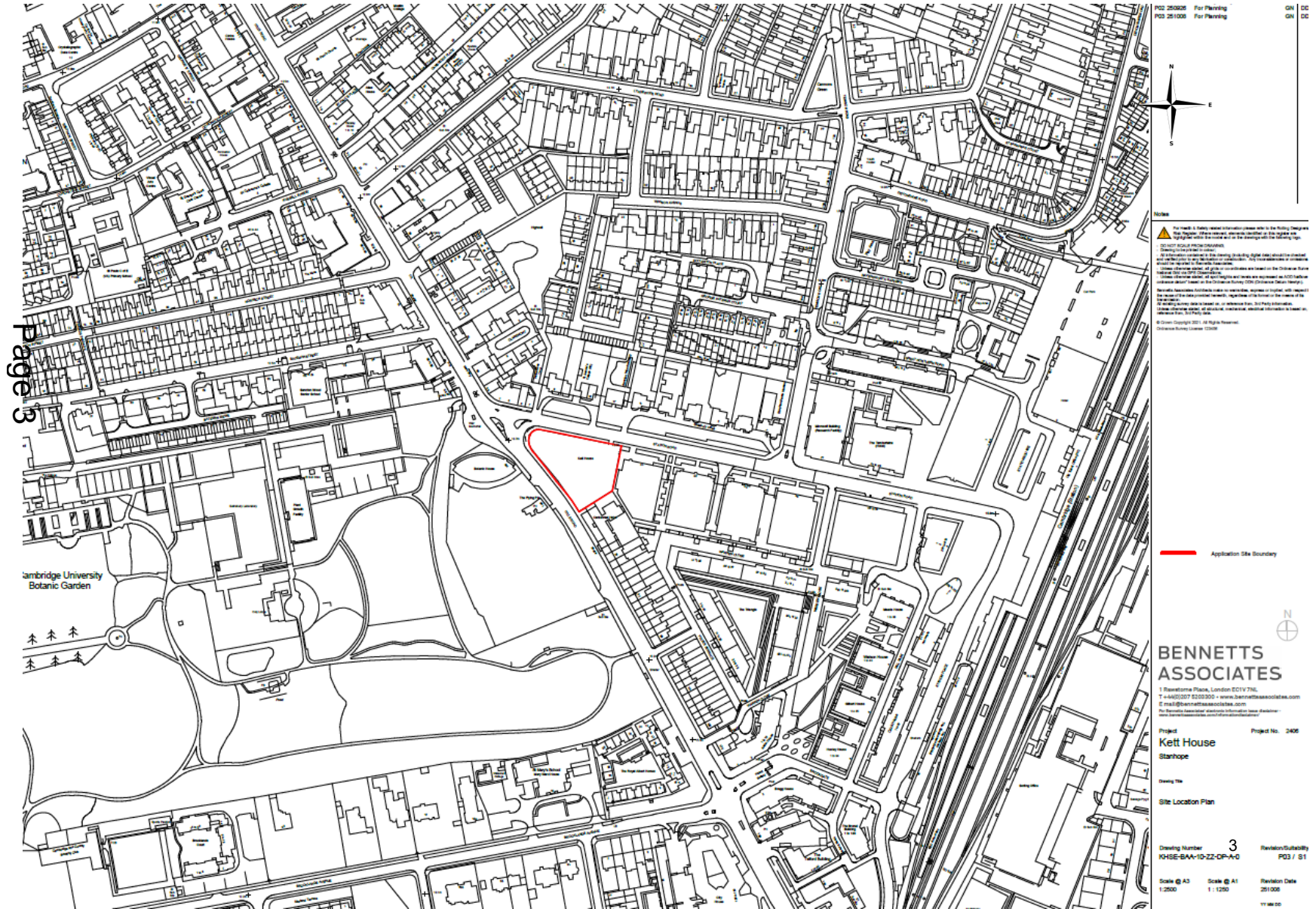


GREATER CAMBRIDGE
SHARED PLANNING

MAJOR APPLICATIONS

25/04039/FUL Kett House

Site Location Plan



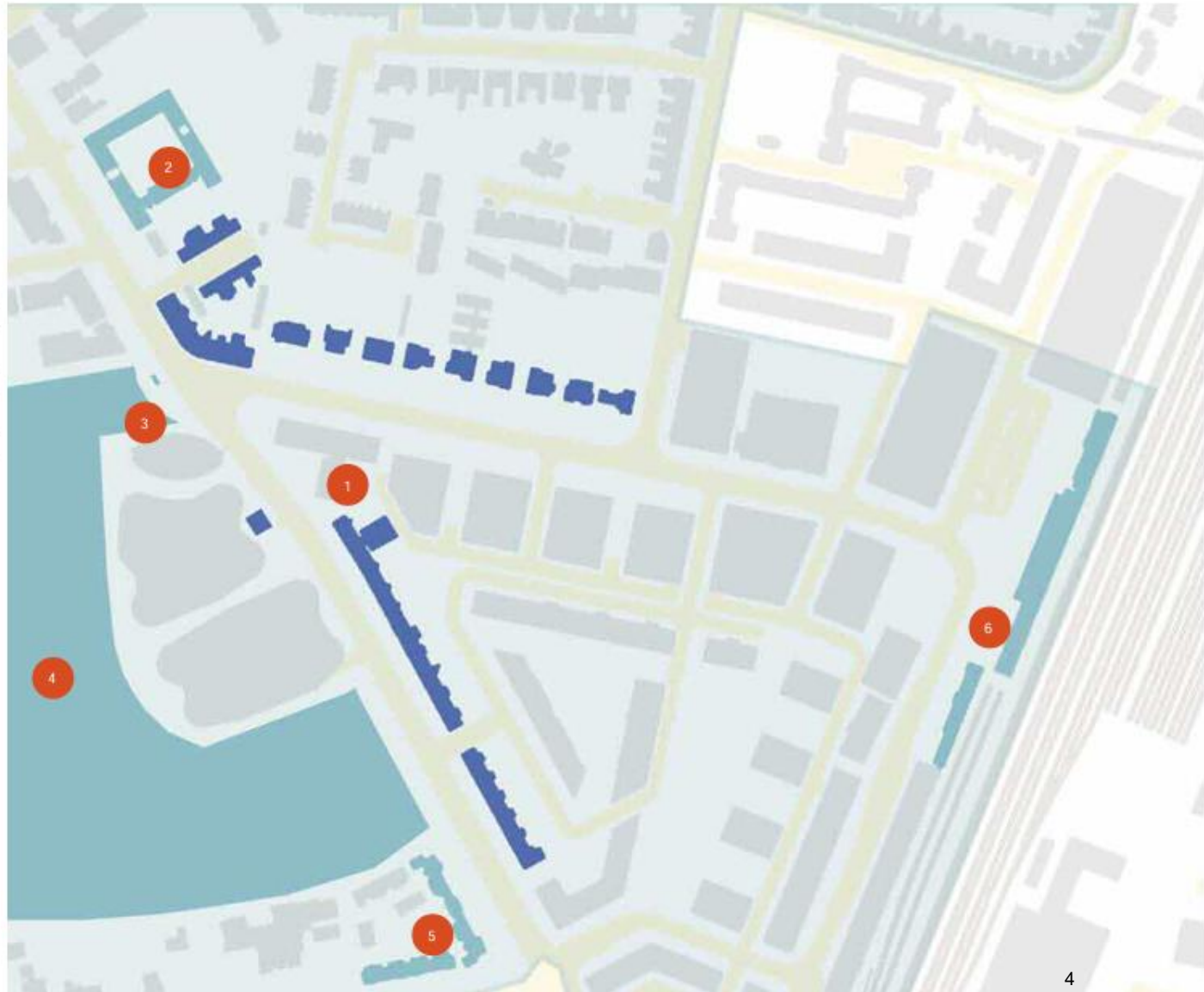
Heritage Context

22

4.0 Site Context & Analysis

Heritage Assets & Buildings of Local Interest
The site is located within a Conservation Area and is surrounded by a number of heritage assets and buildings of local interest.

- | 1 | Site |
|---|--|
| 2 | Highsett and from retaining wall, Grade II |
| 3 | War memorial, Grade II |
| 4 | Botanic Gardens, Grade II* |
| 5 | Royal Albert Homes, Grade II |
| 6 | Cambridge Railway Station, Grade II |



Heritage Assets & Buildings of Local Interest

Site Context

4.0 Site Context & Analysis

Building Typologies

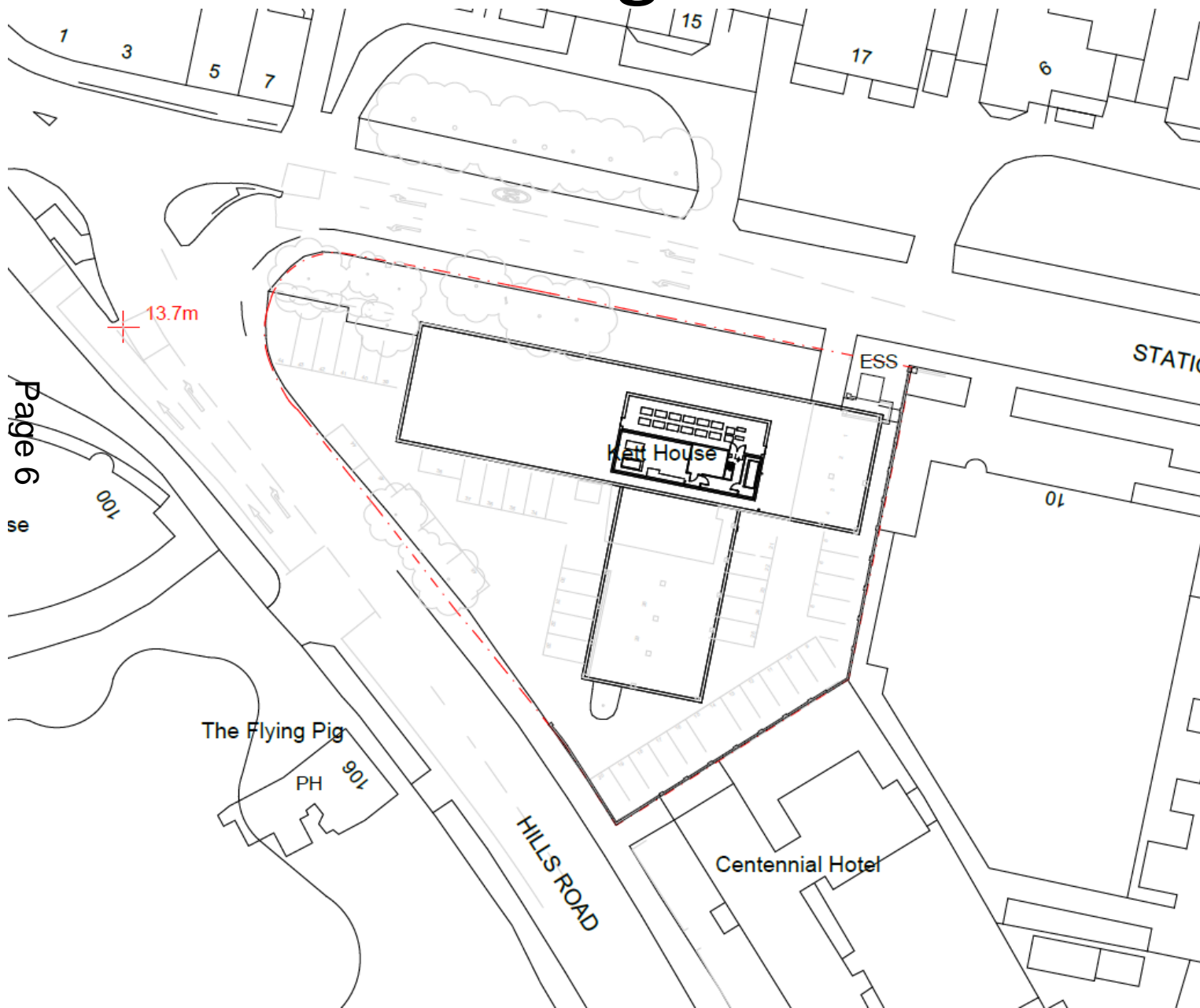
Location plan and accompanying images identifying the key building typologies of neighbouring buildings around the site.

- 1 Site, with Existing Building
- 2 Botanic House, local landmark
- 3 Nos 59 Hills Road with 1-7 Station Road (former Great Northern Hotel)*
- 4 9-11 Mundel Villas, 17 St Andrews, 19-29 Salisbury Villas
- 5 Station Road Office Buildings, part of the CB1 development*
- 6 Eastbourne Terrace and College Terrace, inc. Centennial Hotel*
- 7 Botanic Place, recent major development

*locally listed buildings



Existing Site Plan



PO3 251008 For Planning GN DD

Notes

- 1. The client is liable to ensure that the information provided in this drawing is accurate and up-to-date.
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Project
 Kett House
 Stanhope

Project No. 2406

Drawing No.

Existing Site Plan

Drawing Number
 KHSE-BAA-14-ZZ-CP-A-0

Scale 1:400

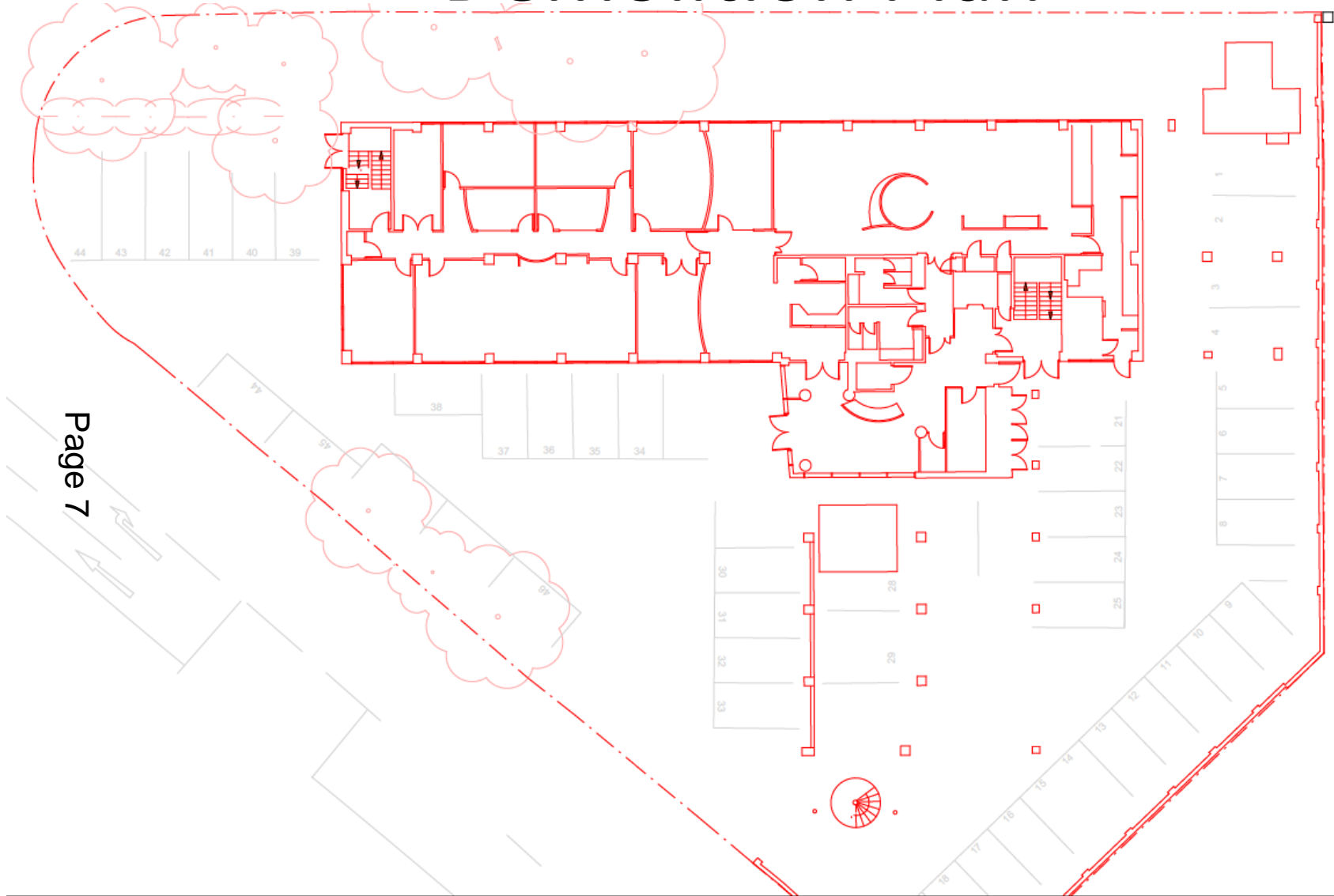
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Revision/Submit
 PO3 / S1

Revision Date
 25/10/08

11/08/08

Demolition Plan



Rev	Date	Revision	By	Chk	Notes
1	25/03/25	For Planning	GN	DD	For Kett House, Stanhope, demolition plan. The plan shows the building footprint in red. The plan is labeled 'Page 7' on the left side.
2	25/03/25	For Planning	GN	DD	For Kett House, Stanhope, demolition plan. The plan shows the building footprint in red. The plan is labeled 'Page 7' on the left side.

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Project
Kett House
 Stanhope

Drawing Title
Demolition Level 00 (Ground Floor) Plan

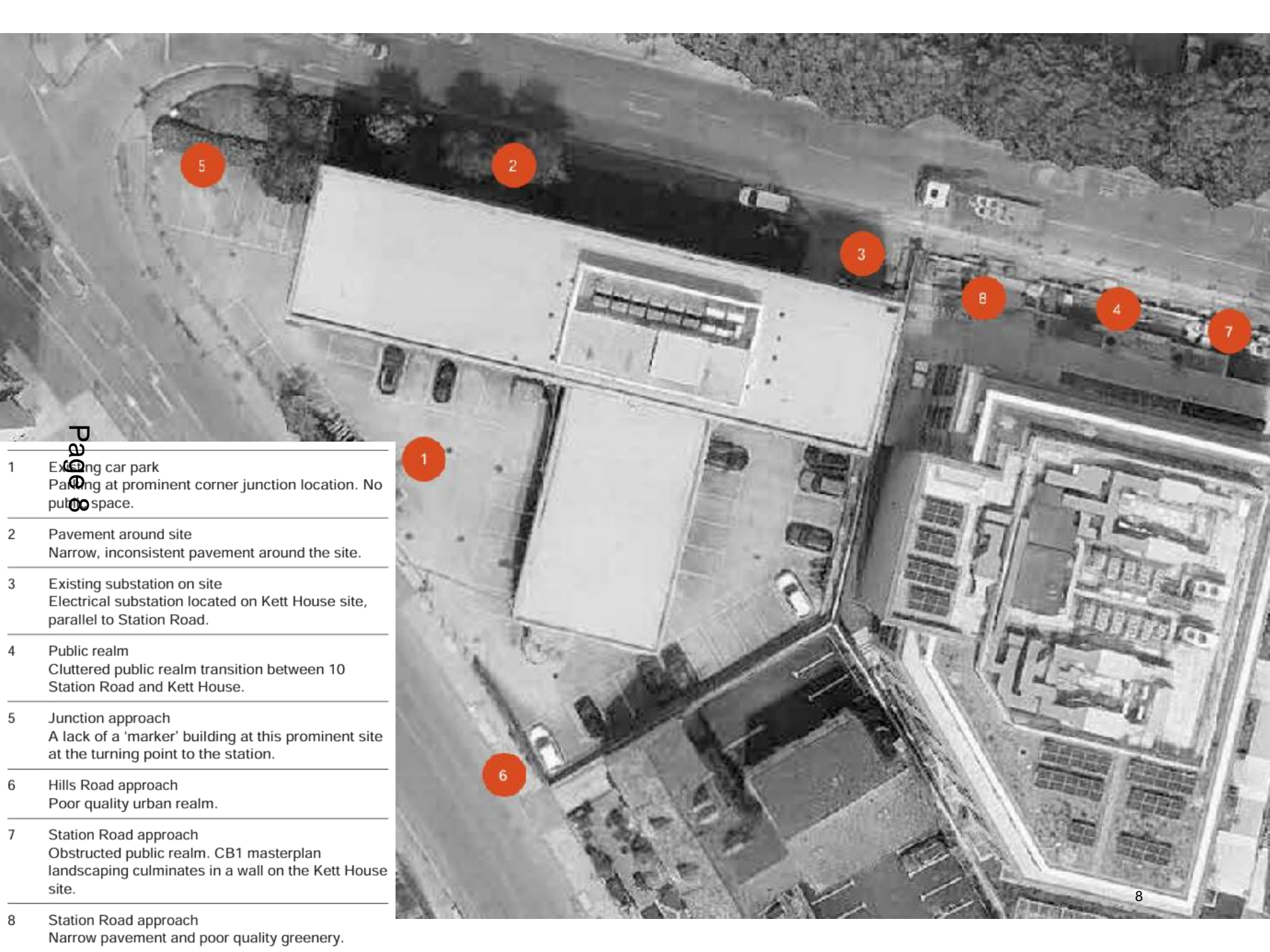


Drawing Number
KHSE-SAA-12-L00-DP-A-0

Scale @ A3
 1:200

Scale @ A1
 1:100

Project No. 2406
 Revision/Subsidiary
 P02 / S1
 Revision Date
 25/03/25
 17.000.000



Page 88

1	Existing car park Parking at prominent corner junction location. No public space.
2	Pavement around site Narrow, inconsistent pavement around the site.
3	Existing substation on site Electrical substation located on Kett House site, parallel to Station Road.
4	Public realm Cluttered public realm transition between 10 Station Road and Kett House.
5	Junction approach A lack of a 'marker' building at this prominent site at the turning point to the station.
6	Hills Road approach Poor quality urban realm.
7	Station Road approach Obstructed public realm. CB1 masterplan landscaping culminates in a wall on the Kett House site.
8	Station Road approach Narrow pavement and poor quality greenery.

Kett House to be demolished

Page 9



Existing Building
Current condition

Site Context

4.0 Site Context & Analysis

21



01. Existing Car Park
Parking at prominent corner junction location. No public space.



02. Pavement
Narrow, inconsistent pavement around the site.



03. Existing Substation
Electrical substation located on Kett House site, parallel to Station Road.



04. Public Realm
Cluttered public realm transition between 10 Station Road and Kett House.



05. Junction Approach
A lack of a 'marker' building at this prominent site at the turning point to the station.



06. Hills Road Approach
Poor quality urban realm.



07. Station Road Approach
Obstructed public realm. CB1 masterplan landscaping culminates in a wall on the Kett House site.



08. Station Road Approach
Narrow pavement and poor quality greenery.

Design Evolution



Prior Massing / Heights
Includes level 8 accommodation (Design Review Panel 1 scheme).



Revised Massing / Heights
All 10,000sqft of level 8 accommodation removed from the proposed scheme, with a carved terrace at level 7 enabling views to the sky from the key Botanic Place viewpoint.

Indicative Proposed Scheme

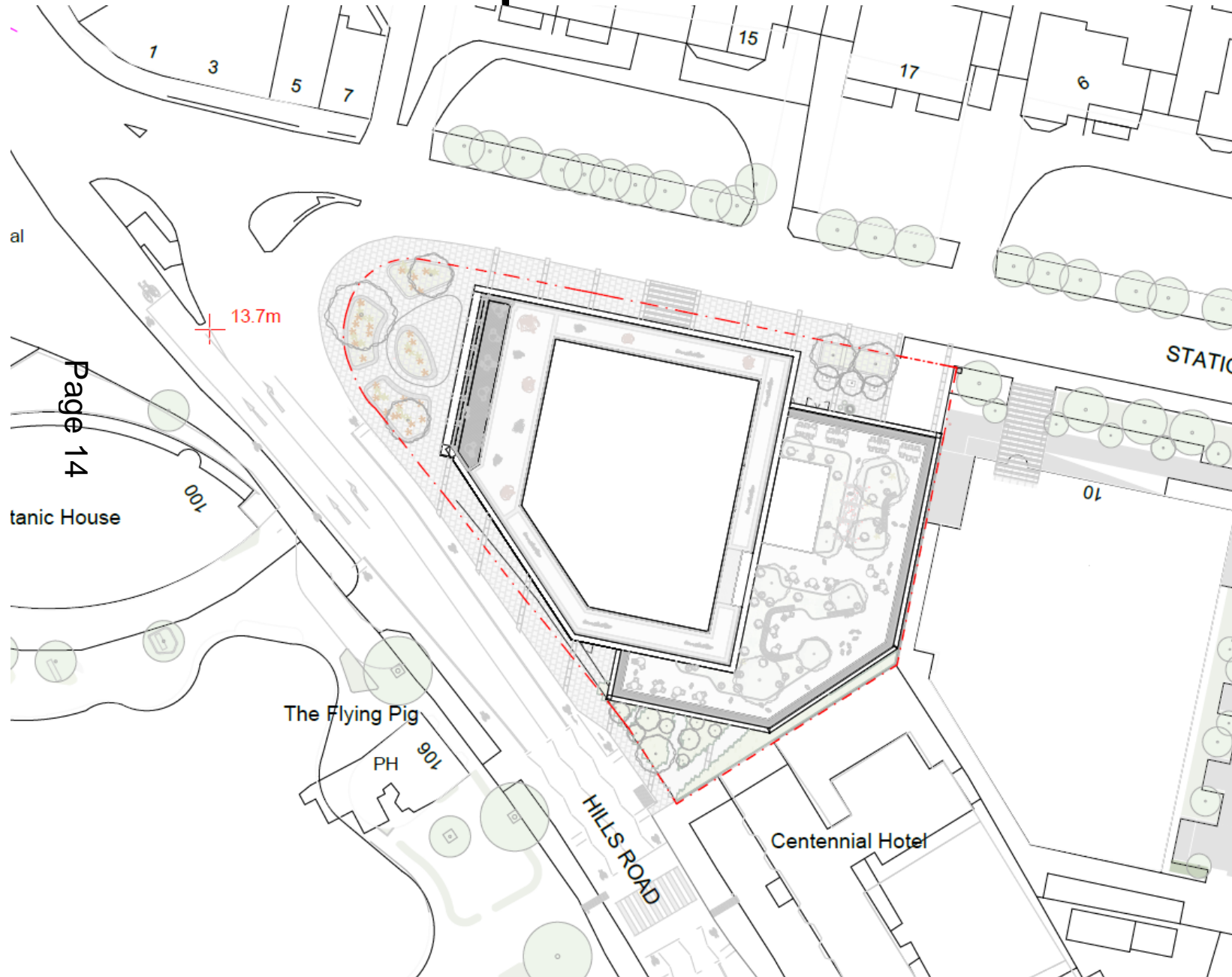


Integration with wider strategic goals
The Kett House plot was not initially included in the CB1 masterplan; a large and successful regeneration scheme which has transformed the area between the train station and Hills Road. As such, the plot can be seen to represent the final piece of the masterplan in the Station Road area, after the completion of the CB1 scheme. Due to its prominent location at the intersection of Hills and Station Road, the plot offers a fantastic opportunity for the development of a genuinely sustainable building, utilising cutting edge low carbon construction methods to set a benchmark for sustainable construction in the city for the future, whilst retaining a clear link to the heritage of the site through its materiality. Resilient planting and water gardens have been proposed to ensure that this forward looking approach to climate change is evident through the landscape.

Indicative Proposed Scheme



Proposed Site Plan



Rev	Date	Revision	By
PD3	25/09/15	Planning Design Freeze	CH
PD3	25/09/15	For Planning	CH
PD3	25/10/06	For Planning	CH

Notes

1. The north arrow indicates the orientation of the site plan. The north arrow is located in the bottom right corner of the plan.

2. The scale of the plan is 1:200. The scale bar is located in the bottom right corner of the plan.

3. The plan is a site plan and does not show the surrounding area. The plan is a site plan and does not show the surrounding area.

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Project: Kett House
Starhope

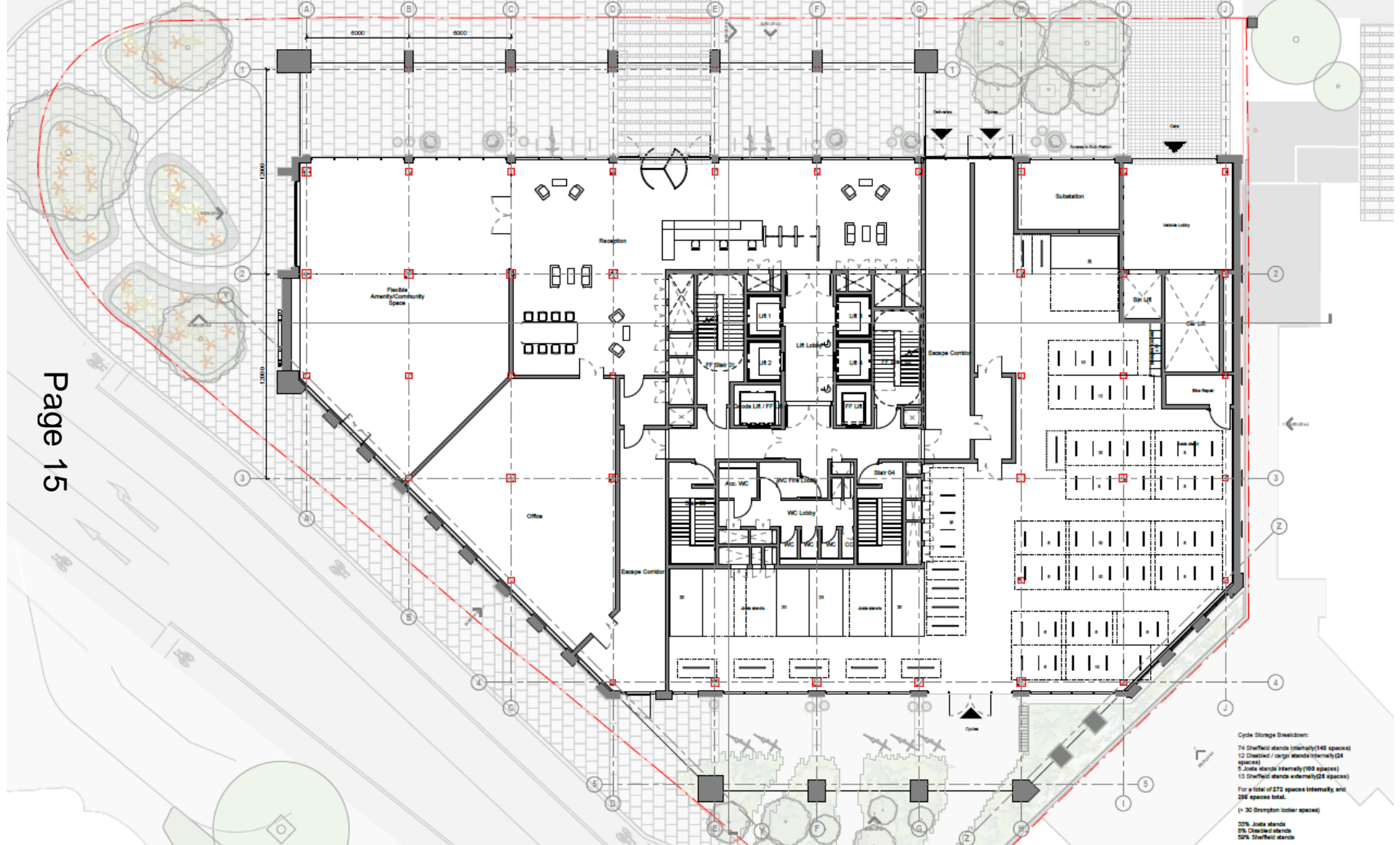
Drawing Title: Site Plan

Drawing No: 14
KHSE-BAA-10-ZZ-OP-A-1

Scale @ A3: 1:400
Scale @ A1: 1:200
Revision Date: 25/10/06

Proposed Ground Floor Plan

Page 15



Cycle Storage Breakdown:
 74 Sheffield stands (internally) (148 spaces)
 12 Sheffield / cargo stands (internally) (24 spaces)
 5 Juke stands (internally) (100 spaces)
 13 Sheffield stands (externally) (26 spaces)
 For a total of 272 spaces internally and 296 spaces total.
 (> 30 Brighton (outer spaces))
 35% Juke stands
 5% Sheffield stands
 59% Sheffield stands

No.	Date	Revision
R01	25/03/18	Planning Design Freeze
R02	25/03/18	For Planning
R03	25/03/18	For Planning
R04	25/03/18	For Planning

Notes

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Project
Kett House Stnape

Drawing Title
General Arrangement Level 00 (Ground) Floor Plan



Drawing No. **15**
KHSE-6AA-20-00-OP-A-0

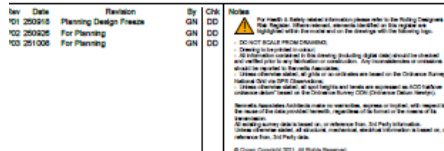
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Project No. 2405

Revision/Utility
P04 / S1

Revision Date
 25/03/18

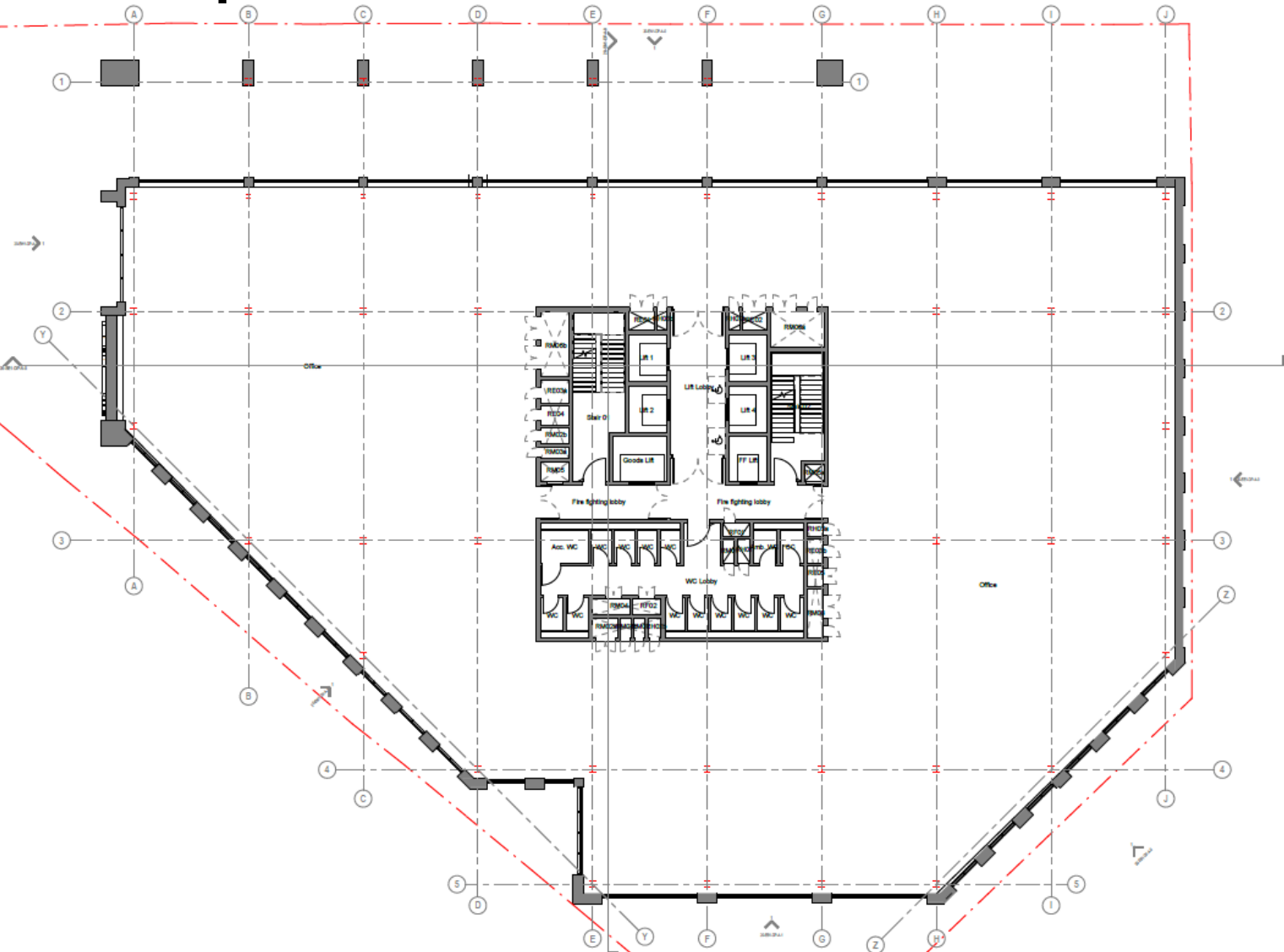
Page 16



Revision Date

Proposed First Floor Plan

Page 17



Notes

- Any needs to supply water to the building should be in the Building Designers' Report. The water supply should be in the Building Designers' Report. The water supply should be in the Building Designers' Report.
- DO NOT SCALE FROM DRAWING.
- Check all dimensions and levels in the drawing. If any dimensions or levels are not correct, the drawing should be corrected.
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Project
Kett House
Sanhope

Drawing Title
General Arrangement
Level 01 - Floor Plan



Drawing 17
KHS-BAA-20-L01-OP-A-0

Scale @ A3 1:200
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Project No: 2406

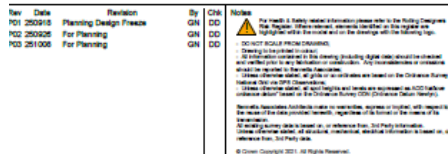
Revision/Status
P03 / S1

Revision Date
25/10/06

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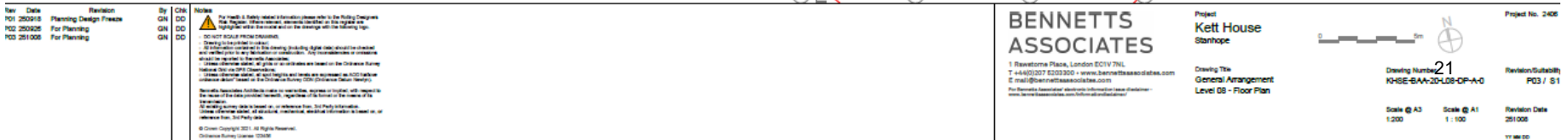
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Revision Date
25/008

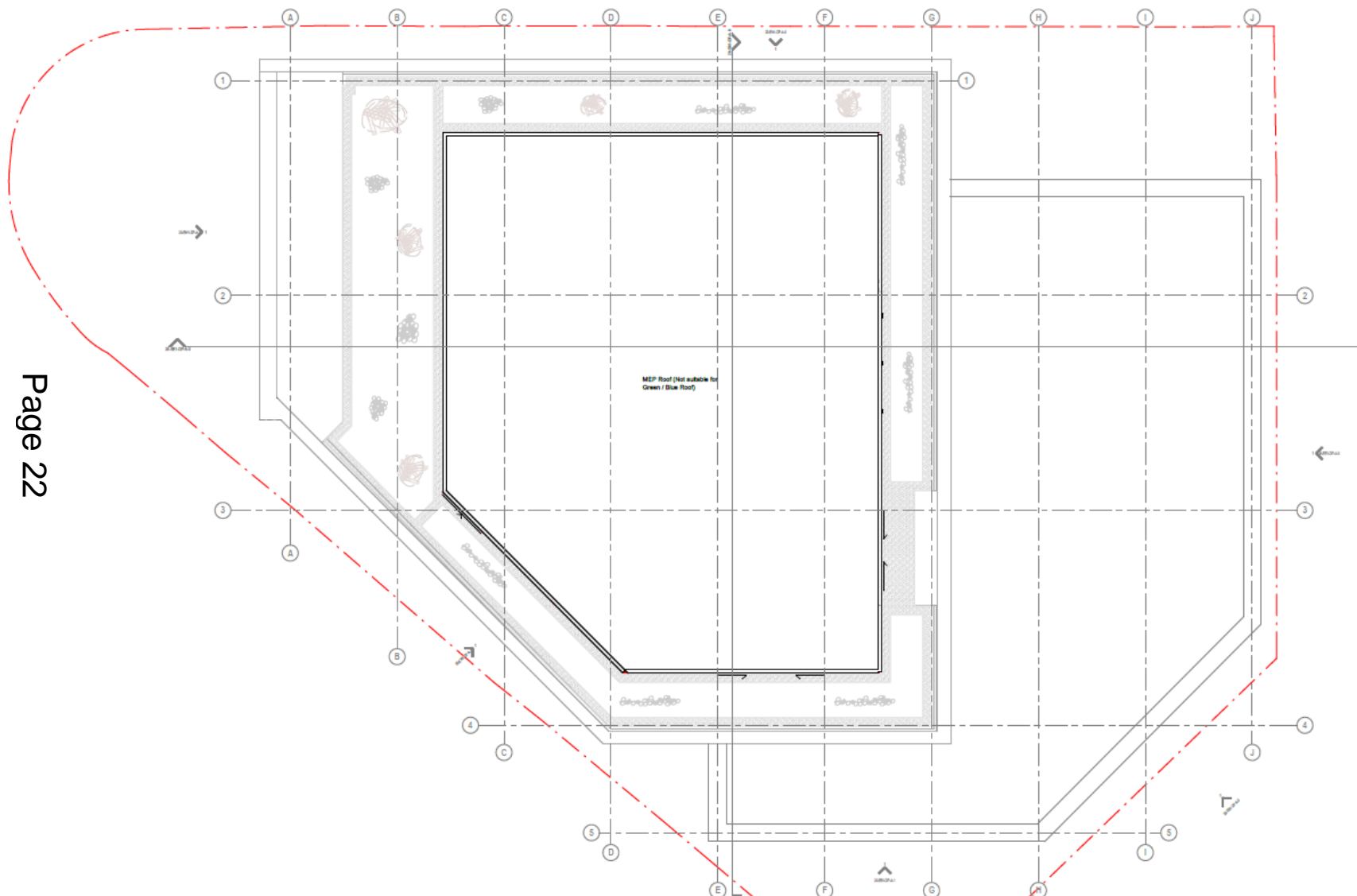
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Page 21

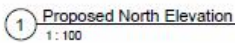


Page 22



<p>Revision</p> <p>01: 25/09/15 Planning Design Freeze</p> <p>02: 29/09/15 For Planning</p> <p>03: 29/09/15 For Planning</p>	<p>Notes</p> <p>The Health & Safety related information shown on this Planning Drawing is the design information, intended to be used as the design information for the construction of the proposed development and is not intended to be used as the design information for the construction of the proposed development.</p> <p>DO NOT SCALE FROM DRAWING.</p> <p>1. Drawing is for information only.</p> <p>2. All dimensions are in millimetres unless otherwise stated.</p> <p>3. All dimensions are in millimetres unless otherwise stated.</p> <p>4. All dimensions are in millimetres unless otherwise stated.</p> <p>5. All dimensions are in millimetres unless otherwise stated.</p> <p>6. All dimensions are in millimetres unless otherwise stated.</p> <p>7. All dimensions are in millimetres unless otherwise stated.</p> <p>8. All dimensions are in millimetres unless otherwise stated.</p> <p>9. All dimensions are in millimetres unless otherwise stated.</p> <p>10. All dimensions are in millimetres unless otherwise stated.</p>	<p>BENNETTS ASSOCIATES</p> <p>1 Riverside Place, London EC2V 7NL T +44(0)207 620 3300 • www.bennettsassociates.com E mail@bennettsassociates.com</p> <p>Project: Kett House Drawing: 22 KNHE-EM-3D-LD-CP-A-0</p> <p>Revision: 03 / 51</p> <p>Project No: 2408</p> <p>Drawing Title: General Arrangement Level: 05 - Floor Plan</p> <p>Scale: A3 1:200 Scale: A1 1:100</p> <p>Revision Date: 29/09/15</p>
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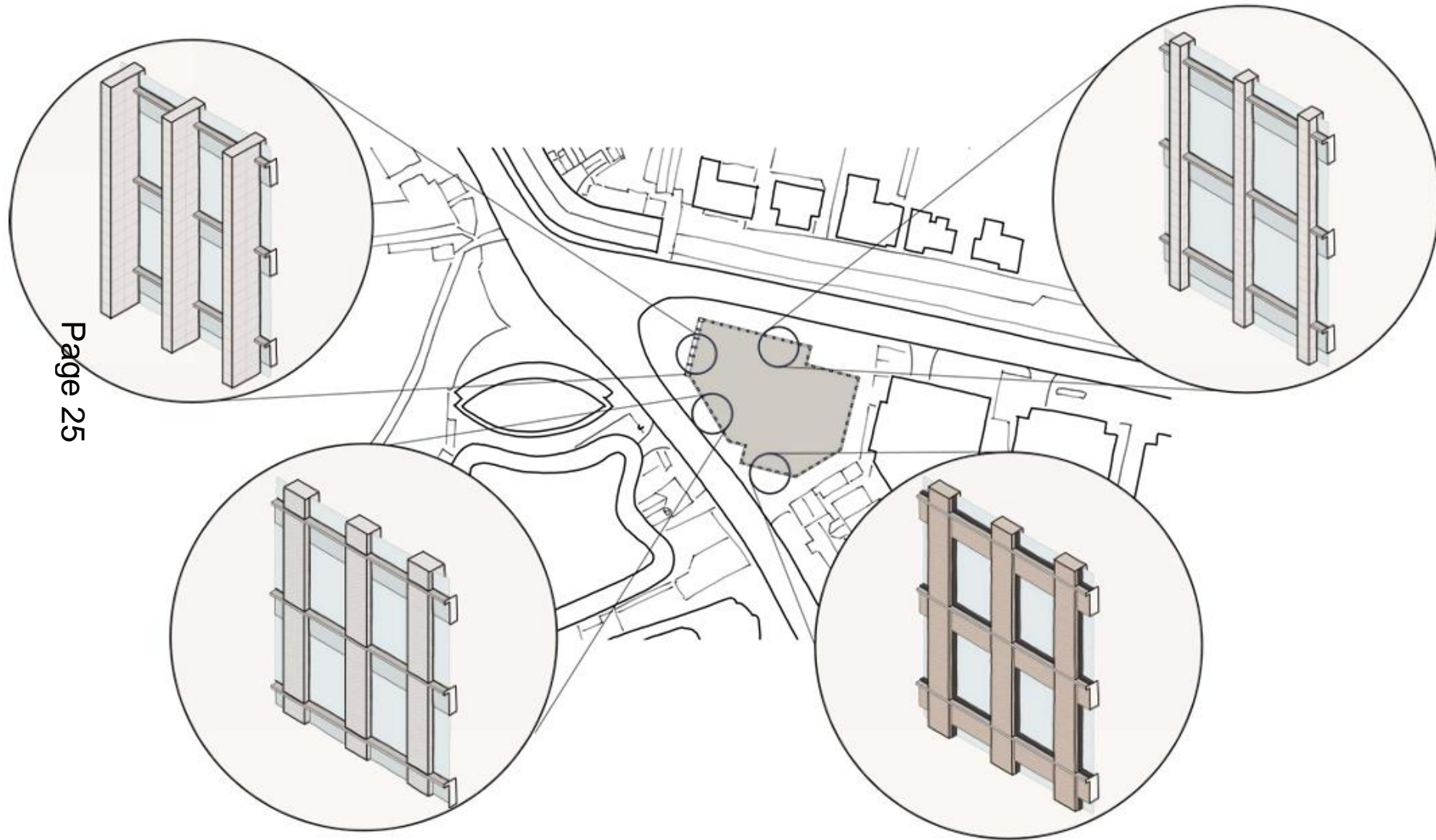
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Indicative Northern Elevation

Page 24

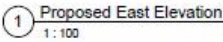


Design Evolution Glazing



Page 25

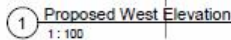
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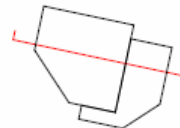
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Page 30



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Project
Kett House
Stanhope

Drawing Title
General Arrangement
Proposed East Section

Drawing Number
INSE-SAA-20-SE1-DP-A-0

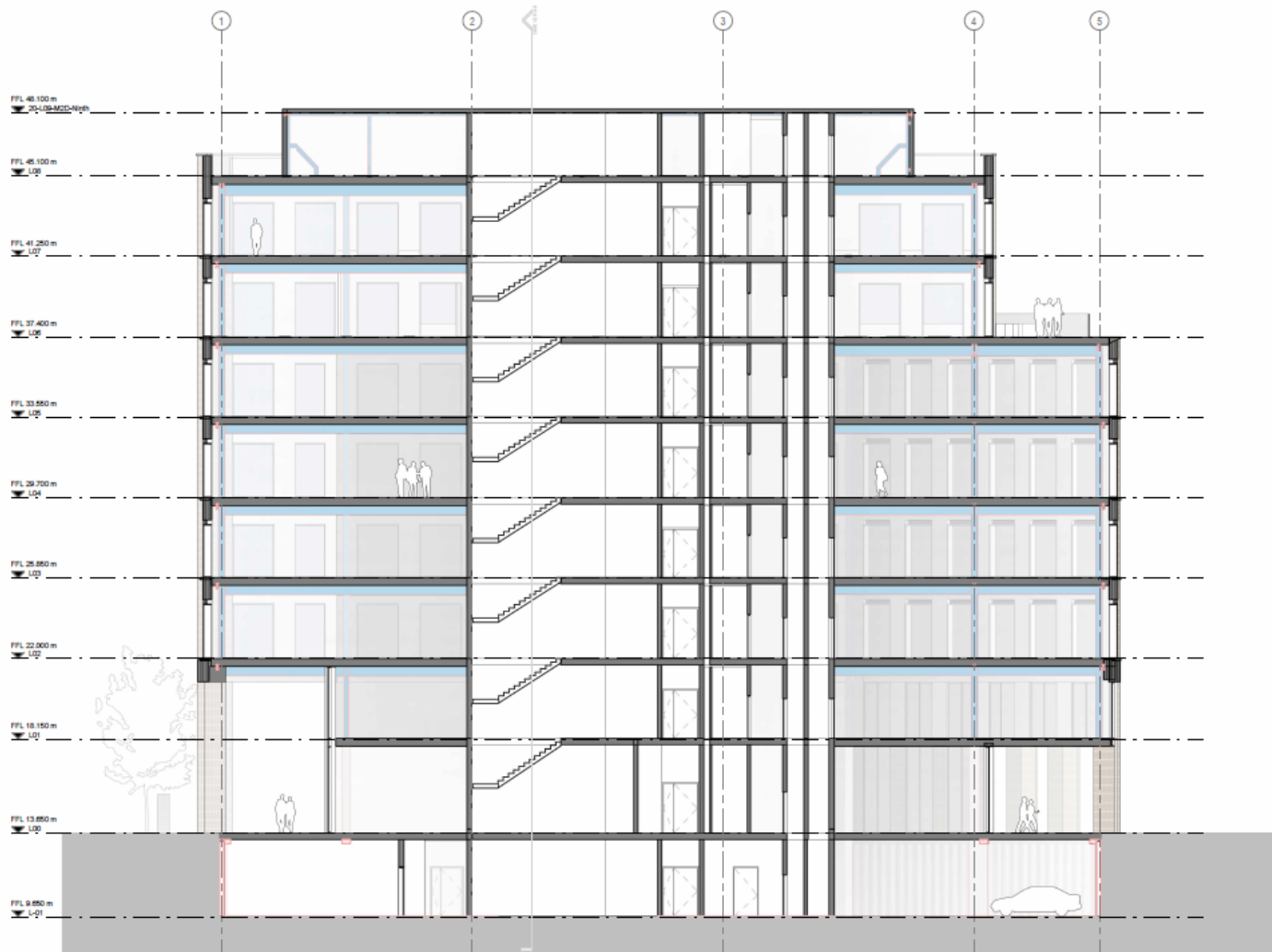
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Project No. 2406

Revision/Submitability
P03 / S1Revision Date
25/008

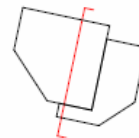
Proposed North Section

Page 32



Notes

- 1. This section is taken through the building in the North-South direction.
- 2. All dimensions are in millimetres unless otherwise stated.
- 3. All dimensions are to the centre of the wall unless otherwise stated.
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Project
Kett House
Stanhope

Drawing Title
General Arrangement
Proposed North Section

32
Drawing Number
KHSE-BA-30-SN1-DP-A-0

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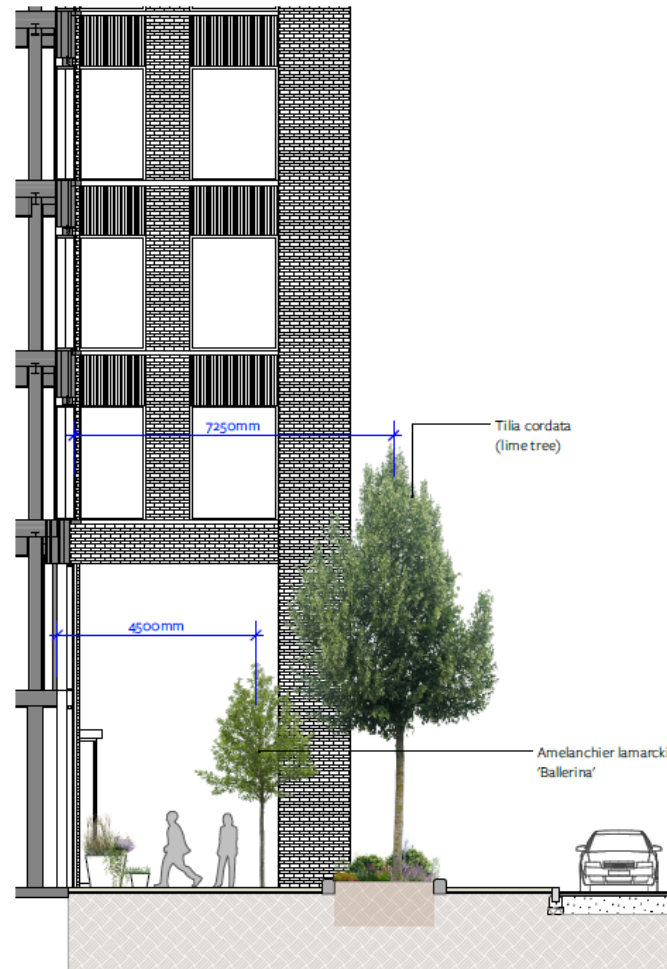
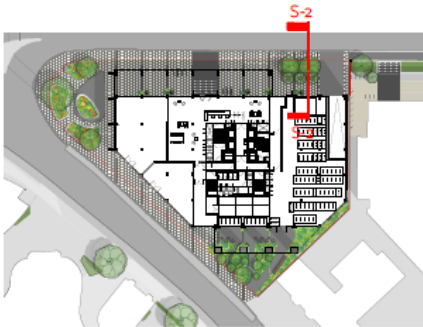
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Project No. 2406

Revision/Status
PG3 / S1

Revision Date
25/10/08

Proposed Station Road Section



NOTES

DO NOT SCALE FROM THIS DRAWING
Contractors, sub-contractors and suppliers are to verify any critical dimensions on site prior to commencing work, fabrication or construction of any elements.
Any discrepancies or errors must be brought to the attention of Robert Myers Associates.
All structural elements are shown indicatively. For all elements of structure, refer to structural engineers' and specialist sub-contractor/fabricators' designs, detail and specification.
The drawings are to be read in conjunction with all relevant landscape architect, consultant and specialist drawings.
This drawing is to be read specifically in conjunction with:
XXX-RMA-XX-XX-DR-4-XXXXXX

P01	25.03.25	First Issue	TH
P02	29.04.25	Updated dimensions	SB
P03	10.06.25	Updated arrangement	SB
P04	07.08.25	Updated arrangement	HM
P05	05.09.25	Column planters removed	HM
P06	24.09.25	Label updates	HM
P07	29.09.25	Building update	HM
Rev:	Date:	Description:	Drawn by:

REVISIONS

Status: **S2 - FOR INFORMATION**

Client: **Stanhope**

Project Title: **Kett House**

Drawing: **Section 02**

Scale: 1:100 @ A3 Drawn By: TH

Drawn Date: March 2025 RMA Project No: 857.01

Checked: PM Checked: RM

Drawing Number: **KHSE-RMA-ZZ-ZZ-DR-L-04002**

Status: **S2**

Revision: **P07**

Robert Myers Associates
LANDSCAPE ARCHITECTURE

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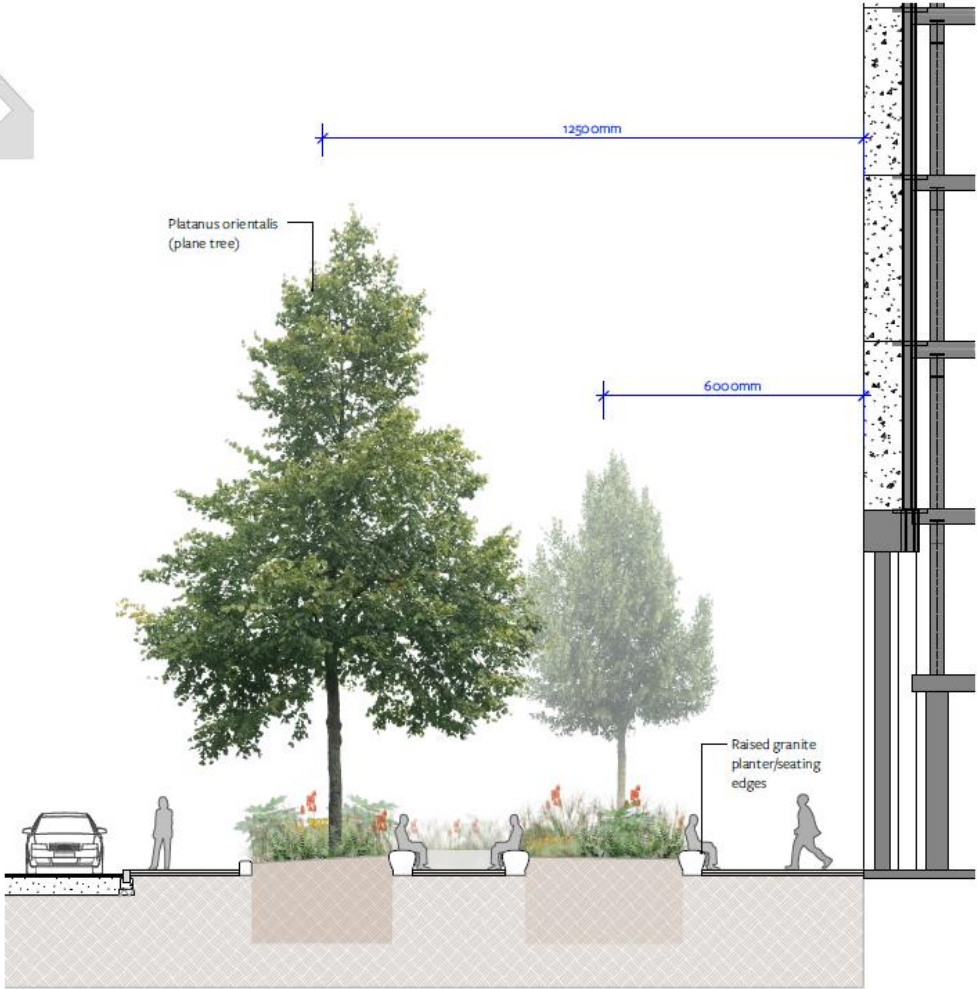
Station Road Colonnade



Proposed Junction Section



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S1 Focal point section
Scale 1:100 @ A3

NOTES

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Contractors, sub-contractors and suppliers are to verify any critical dimensions on site prior to commencing work, fabrication or construction of any elements.

Any discrepancies or errors must be brought to the attention of Robert Myers Associates.

All structural elements are shown indicatively. For all elements of structures, refer to structural engineers' and specialist sub-contractor/fabricators' design, detail and specification.

The drawings are to be read in conjunction with all relevant landscape architect, consultant and specialist drawings.

This drawing is to be read specifically in conjunction with:
XXX-RMA-XX-DR-L-XXXXX

P01	25.03.25	First Issue	TH
P02	29.04.25	Updated dimensions	SB
P03	10.06.25	Updated arrangement	SB
P04	07.08.25	Updated arrangement	HM
P05	05.09.25	Kerb line change	HM
P06	24.09.25	Label updates	HM
P07	29.09.25	Building update	HM
Rev:	Date:	Description:	Drawn by:

REVISIONS

Status:	S2 - FOR INFORMATION		
Client:	Stanhope		
Project Title:	Kett House		
Drawing:	Section 01		
Scale:	1:100 @ A3	Drawn By:	TH
Drawn Date:	March 2025	RMA Project No:	857.01
Checked:	PM	Checked:	RM
Drawing Number:	KHSE-RMA-ZZ-ZZ-DR-L-040.01		
Status:	S2		
Revision:	P07		

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LANDSCAPE ARCHITECTURE

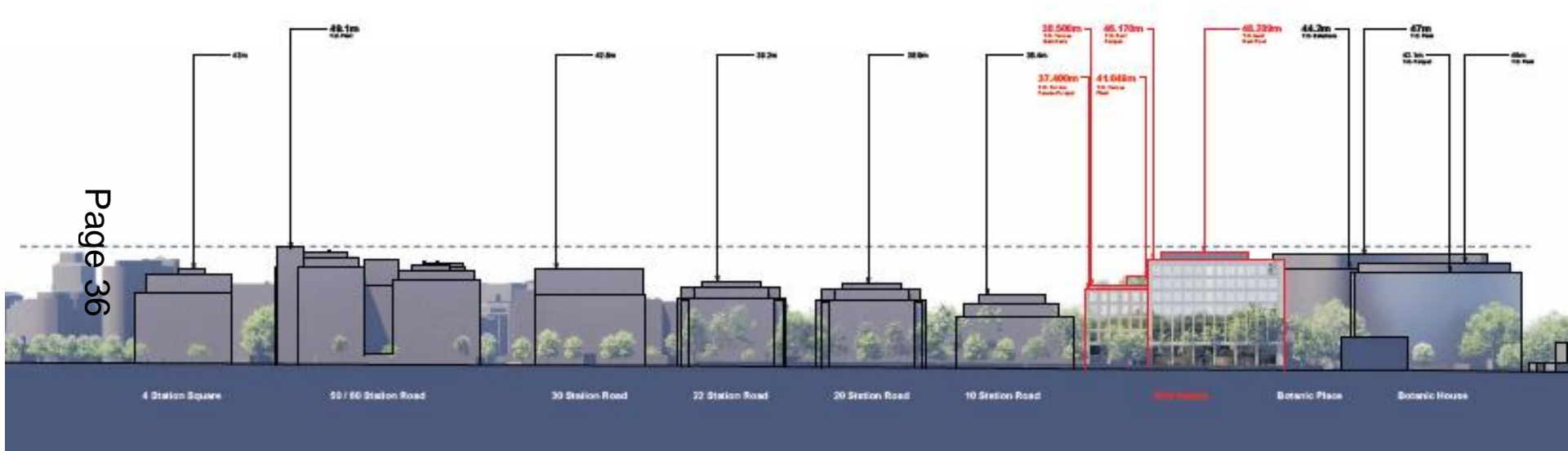
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Spot heights along Station south section

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Sustainability

Sustainability Targets

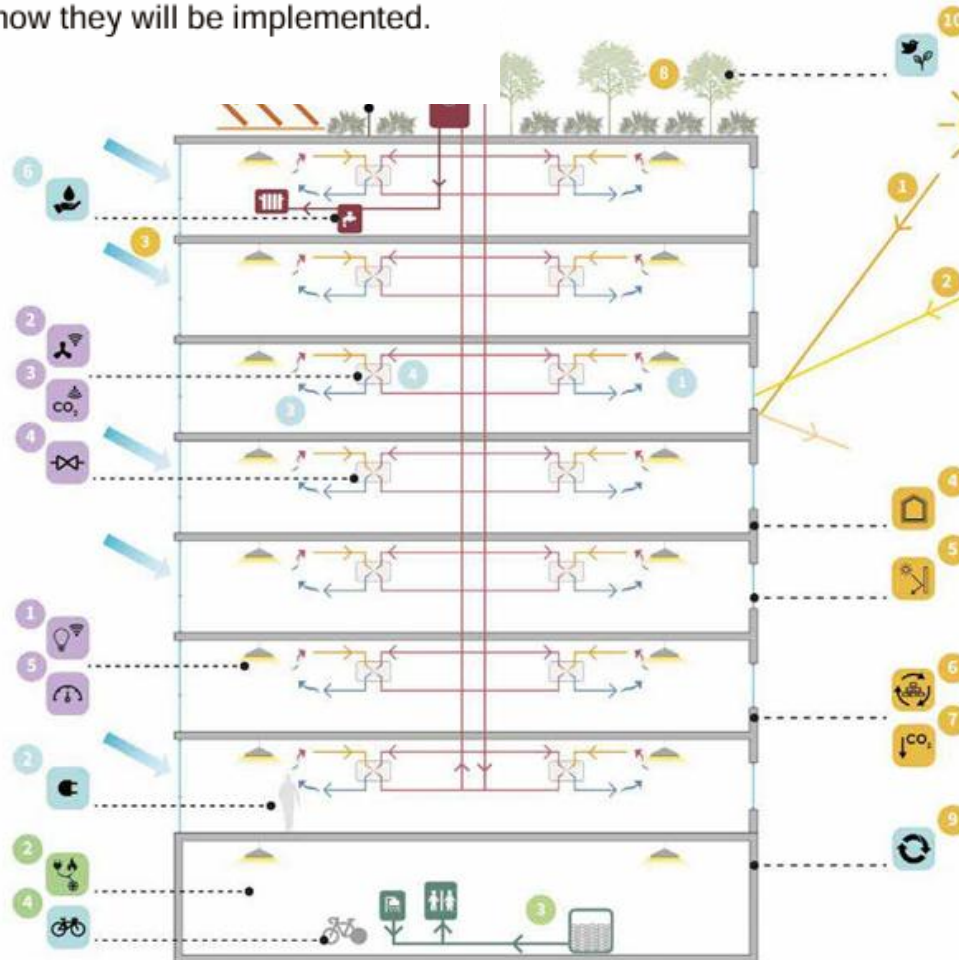
Conceptual section diagram illustrating the proposed sustainability strategies and how they will be implemented.

System Design Strategies

- 1 LED lighting
- 2 Reduce tenant small power consumption
- 3 Potential for mixed mode ventilation with heat recovery
- 4 On floor airflow supply with low SFPs
- 5 ASHRAE with heat recovery for heating & DHW
- 6 Efficient fittings to reduce water consumption

Smart Control Strategies

- 1 PIRs and daylight controls
- 2 Demand control airflow
- 3 CO₂ sensors
- 4 Flow controller - constant duct pressures
- 5 Smart metering
- 6 Local weather station controlled BMS system



Passive Design Strategies

- 1 Shading design for solar control
- 2 Passive solar heating
- 3 Maximise daylight from North
- 4 High thermal performance
- 5 High performance glazing
- 6 Recycling and re-use of materials
- 7 Responsibly sourced material of low embodied carbon
- 8 Drought tolerant vegetation minimising heat island effect
- 9 Reduce construction waste
- 10 Enhance biodiversity

Clean Energy Strategies

- 1 PV panels on roof
- 2 All electric system
- 3 Greywater recycling for toilets
- 3 Cycle storage & end-of-trip facilities

Sustainability

Sustainability Targets Table

The table compares the Kett House sustainability targets to those outlined in Cambridge Policy and other specified minimum standards.

Sustainability Targets

Environmental Ratings









- BREEAM Excellent
- WELL Gold enabled
- NABERS 4.5*
- WiredScore Platinum
- RICS 2

Building Services

- All electric systems
- Minimise water use by 55%
- Greywater recycling
- ASHPs with heat recovery
- All electric systems
- Photovoltaics
- Smart controls
- LED lighting with PIR and daylight controls
- Low specific fan powers

Materials

- High thermal performance
- High performance glazing
- Opportunities for reuse

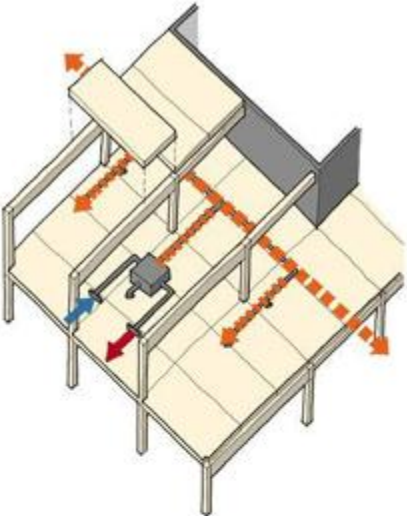
	Cambridge Policy/Minimum Standards	Kett House Targets
 BREEAM	<ul style="list-style-type: none"> • BREEAM pre-assessment • Excellent 	<ul style="list-style-type: none"> • Excellent on V6.1
 Embodied Energy	<ul style="list-style-type: none"> • Circular economy principles based on UKGBC • Reuse material from demolition of existing building • Sustainable procurement plan and responsible resourcing (BREEAM Mat03) 	<ul style="list-style-type: none"> • Pre-demolition audit undertaken, re-use and recycling opportunities identified • Circular Economy GLA methodology • Conduct a Sustainable procurement plan and responsible sourcing (BREEAM Mat03) • RICs WLC Assessment A1-A5, <600 kgCO2/m2, LETI Good building design
 Operational Energy	<ul style="list-style-type: none"> • BREEAM Ene 01>4 credits 	<ul style="list-style-type: none"> • NABERS 4.5* • BREEAM Ene 01>4 credits
 Net Zero	<ul style="list-style-type: none"> • Integrate renewables and LZC technologies (BREEAM Ene04) 	<ul style="list-style-type: none"> • Integrate renewables and LZC technologies (BREEAM Ene04) • EPC A
 Biodiversity	<ul style="list-style-type: none"> • All development proposals should seek to conserve and enhance biodiversity 	<ul style="list-style-type: none"> • Minimum 20% Net Gain for biodiversity (BREEAM LE02-04) (Cambridge aspiration)
 Water Consumption	<ul style="list-style-type: none"> • 55% reduction in water consumption against baseline (BREEAM Wat01 5 credits) • Min. Part G 2010 requirements 	<ul style="list-style-type: none"> • >55% reduction in water consumption against baseline (BREEAM Wat01 5 credits) • Drought tolerant planting • Greywater recycling for toilets.
 Waste	<ul style="list-style-type: none"> • Reduce construction waste and conduct a Site Waste Management Plan (BREEAM Wst 01 RMP) 	<ul style="list-style-type: none"> • Conduct a Site Waste Management Plan (BREEAM Wst01 RMP) • Reduce construction waste to <6.5t/100m2 GIA (BREEAM Wst01 2 credits)
 Smart Buildings	<ul style="list-style-type: none"> • Integration of smart technologies 	<ul style="list-style-type: none"> • WiredScore Platinum

More with Less

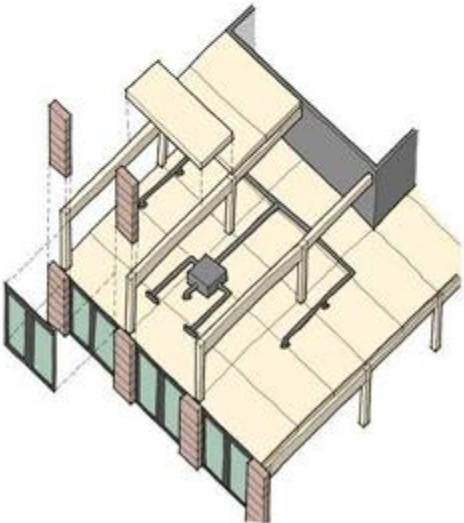
Several cutting edge and innovating design techniques, driven by a push to deliver a resource conscious and genuinely sustainable building are being incorporated into this scheme. Primarily these resolve around simplifying construction techniques and using better, lower carbon materials to significantly reduce both the embodied and operational carbon impact of the scheme. Additional ancillary benefits include reductions in construction waste, improved speed of construction, end of life demountability and reuse, and reduced site deliveries and logistics through construction.

A Hybrid steel and timber frame, mechanically fixed, with a jump form concrete core allows for a significant reduction in embodied carbon versus a traditional concrete slab and column construction. Additionally, the mechanically fixed nature of the superstructure allows for easy dismantling at end of life, if required. Further opportunities for material passporting will be explored in the next stages to enhance this process. The hybrid timber and steel structure, aside from offering a carbon reduction in the building superstructure, also offers a significant reduction in the size, and thereby embodied carbon within, the foundations.

Decentralised plant systems are being explored as a modern alternative to traditional roof based plant. There are significant benefits available in operational carbon, as well as embodied carbon savings through a significantly reduced reliance on fire dampers throughout the building. This simplifies the MEP systems throughout.



Services
Modular, decentralised MVHR units.



Glazing Units
Less stuff, less cost, less carbon.

is to

Materials and Detailing

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Facade Bay Study (Smaller Block)
Sandstone Facade



Facade Bay Study (Taller Block)
Limestone Facade

Modelling

Massing options have been explored both digitally and physically with a series of models, offering the team and the planning officers the opportunity to review the scheme in context throughout the pre application process.

Process Model



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Proposal in Context
Process Model

Kett Oak



Student Services Centre, University of Cambridge
A present of a maintained historic piece within a contemporary proposal



Kett Oak Sculpture
In its current location on the existing building facade.



Plan of proposed new sculpture location
Located in a recessed panel on the ground floor facade (highlighted in yellow on the above plan), fronting onto the public realm for maximum visibility and engagement.

Landscaping

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Indicative Landscaping



Planter edges as seats
Kett Oak Gardens



Public realm paving
Throughout proposed landscape design



Rain garden
Southern Pocket Park



Planter examples
Kett Oak Gardens

Visualisations – Viewpoint 3

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Visualisations – Viewpoint 4

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Visualisations - Existing viewpoint 6



Visualisations – Viewpoint 6



Visualisations – Viewpoint 8



Visualisations – Viewpoint 10

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Visualisations – Viewpoint 12



Visualisations – Viewpoint 13

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Visualisations – Viewpoint 16

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Planning Balance

Approval

Key material considerations

Regeneration of a brownfield site

High quality hybrid steel and CLT design

Public realm improvements

Meets high quality office need in key Central Business District location

Complete CB1 Station Road regeneration

Biodiversity net gain of more than 30%



Refusal

Key material considerations

Lower level of harm to setting of designated and non-designated heritage assets mainly through form and scale of building

Foul water capacity at Cambridge Water Recycling Centre

Officer Recommendation: Approve

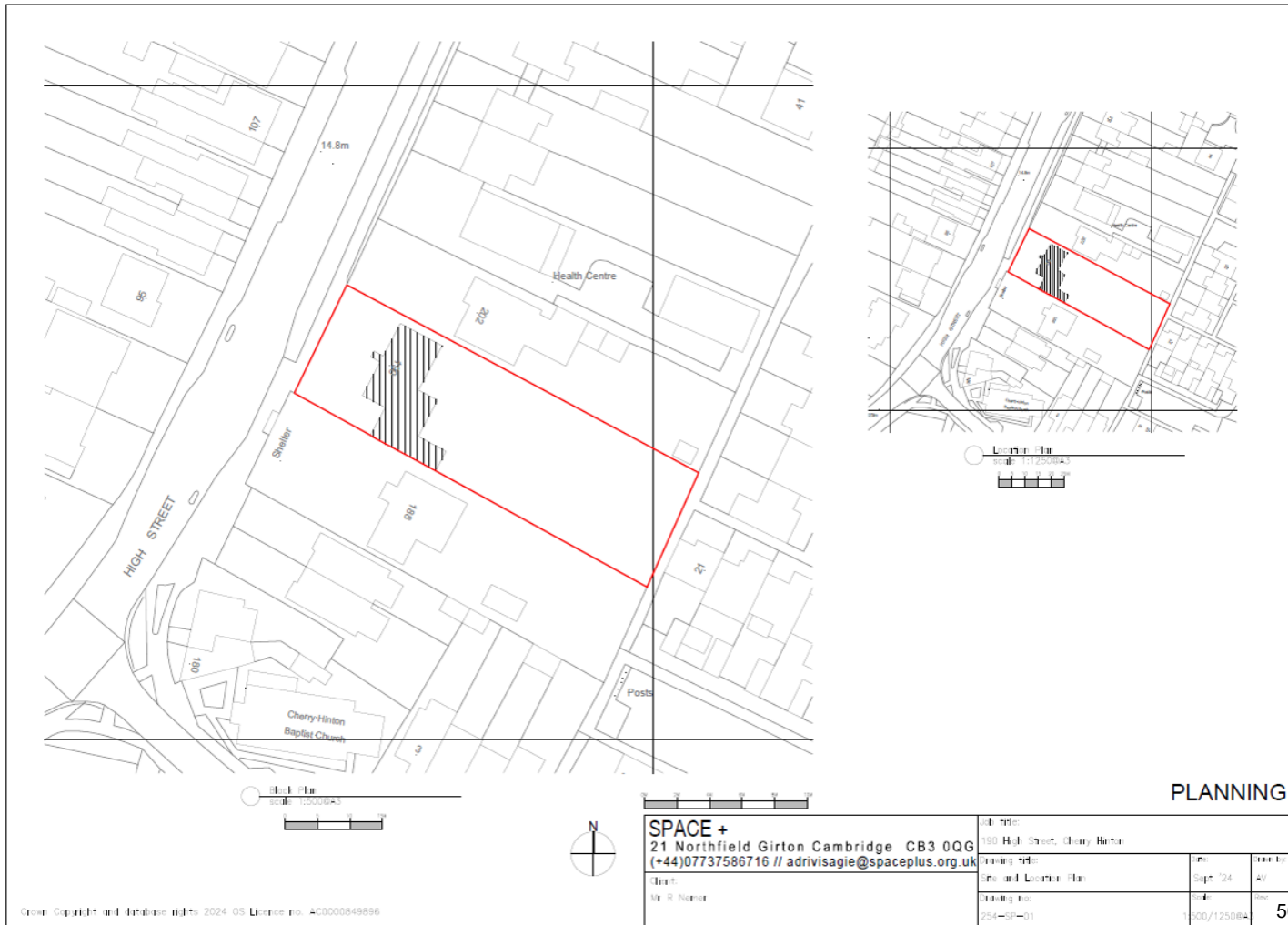
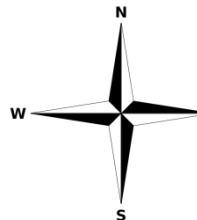
MINOR APPLICATIONS

Ref no. 25/01321/FUL

190 High Street, Cherry Hinton

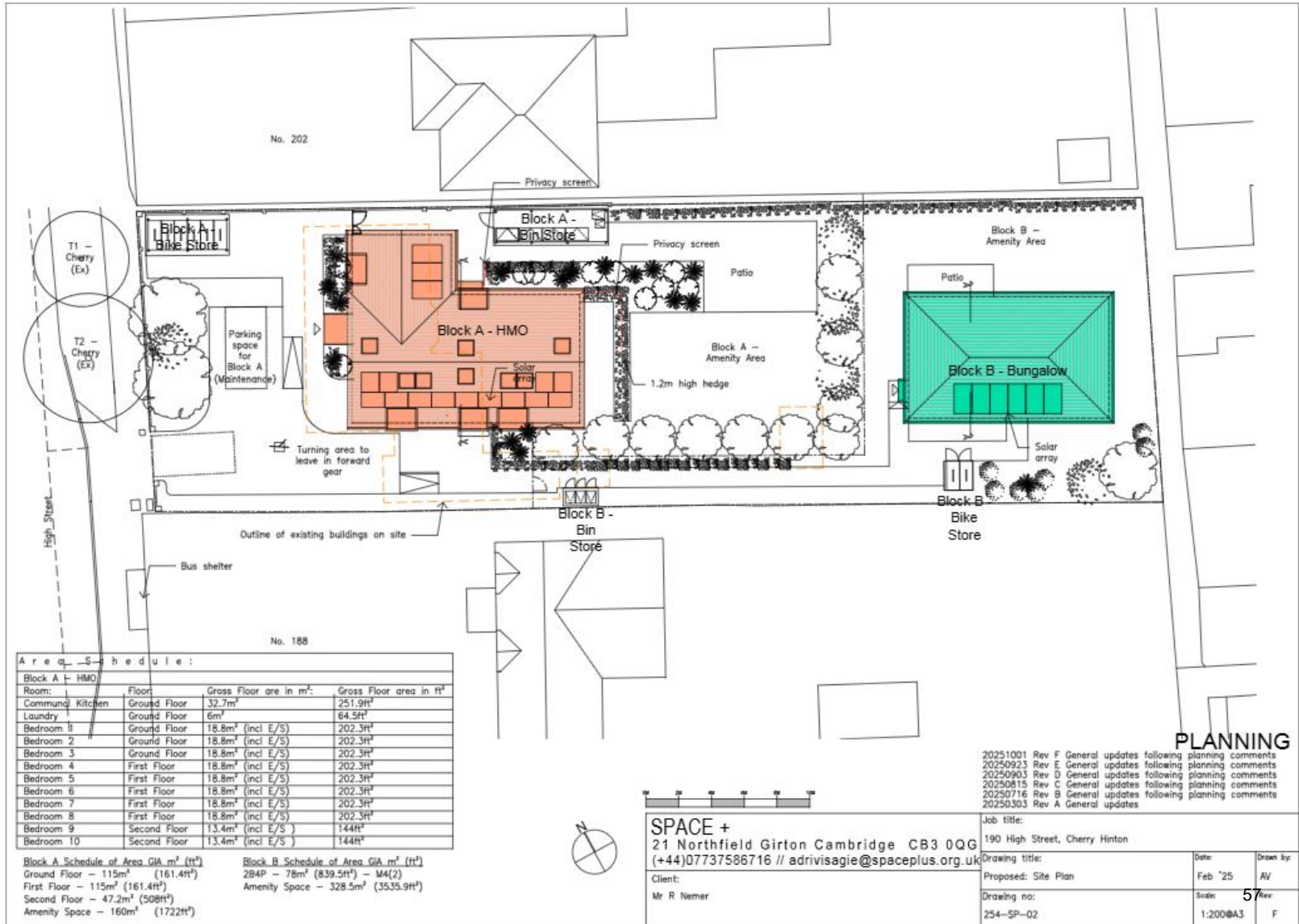
Site Location Plan

Page 56



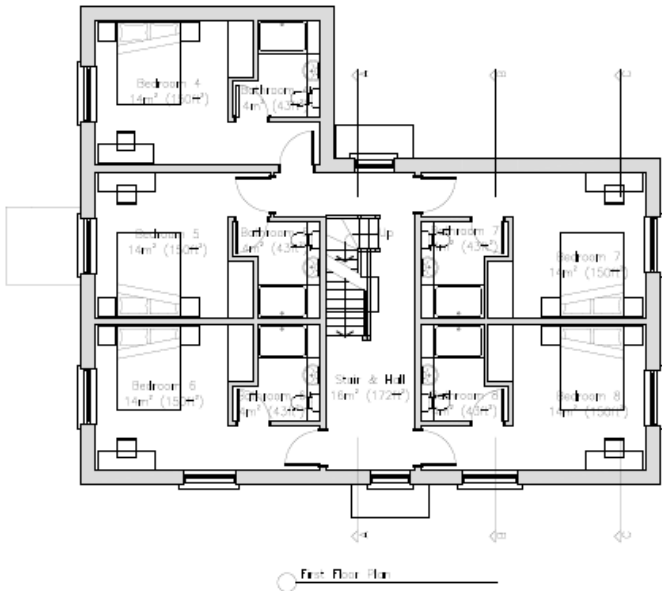
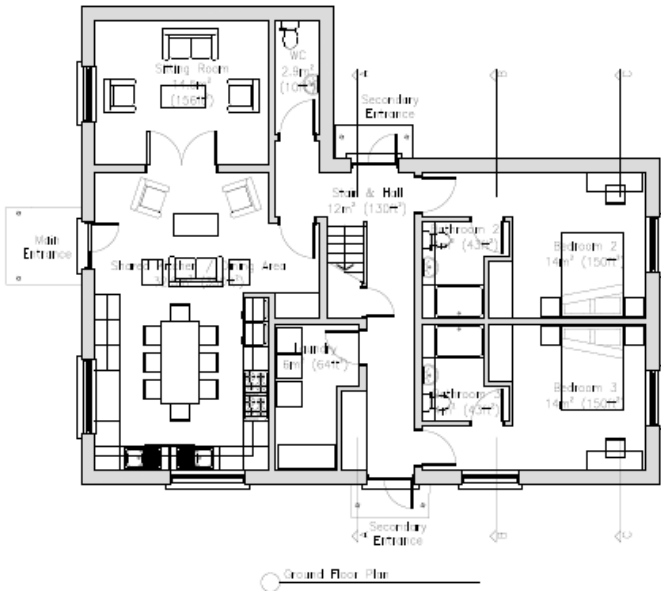
Site Plan - Proposed

Page 57



Block A – Floor Plans

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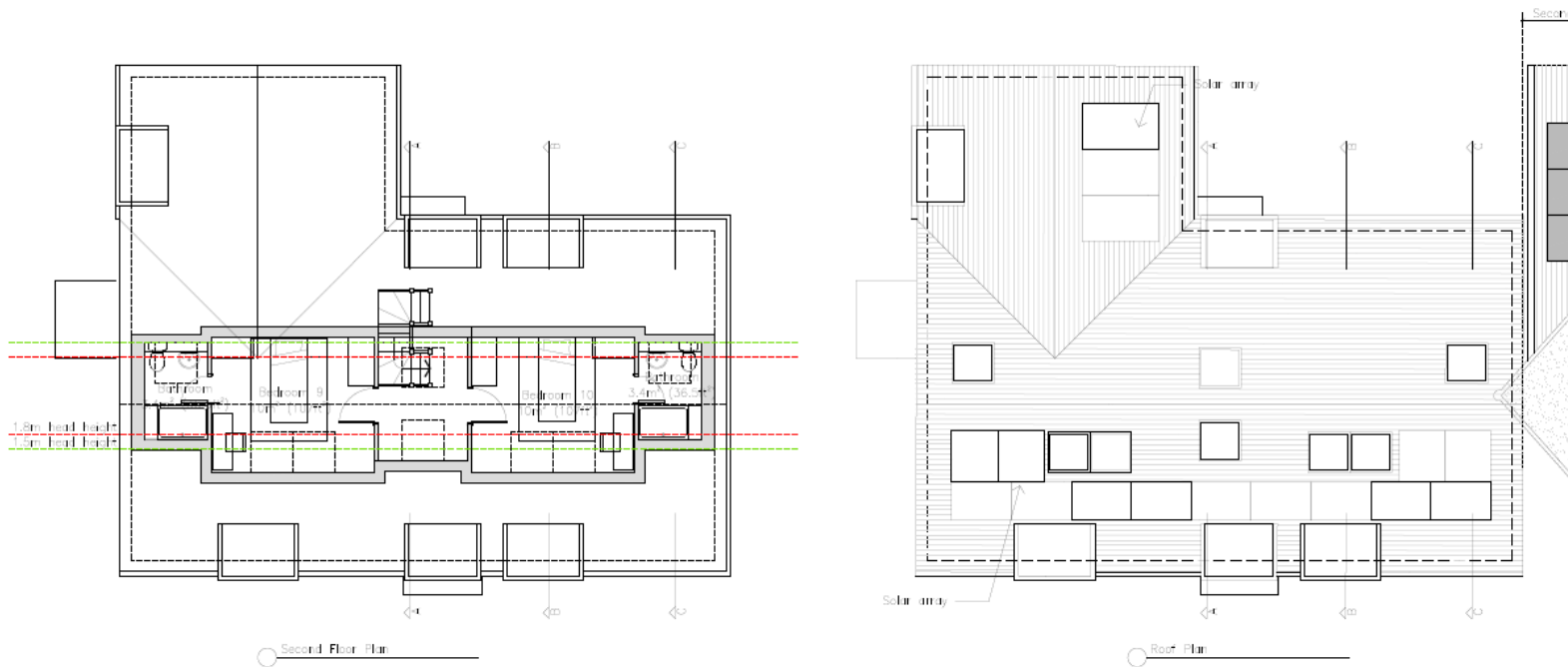
PLANNING

20251125 Rev. C Bedroom 1 removed and sitting room added following planning comments
20250804 Rev. B General updates following planning comments
20250815 Rev. A General updates following planning comments

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Client: Mr R. Nasser	Drawing no: 254-SR-03	Issue: 58	Rev: C

Block A – Floor Plans

Page 59



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Client:
Mr R Nemer

Job title:
190 High Street, Cherry Hinton

Drawing title:
Proposed: Block A – Plans

Drawing no:
254-SP-04

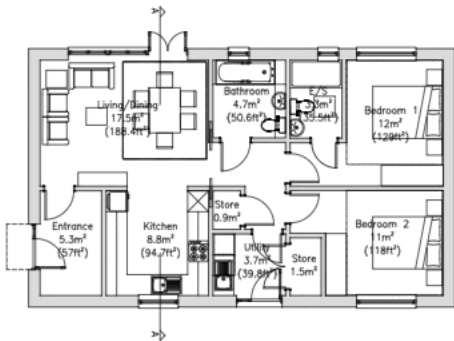
PLANNING

20251125 Rev B Section B-B & C-C added
20250815 Rev A General updates following planning comments

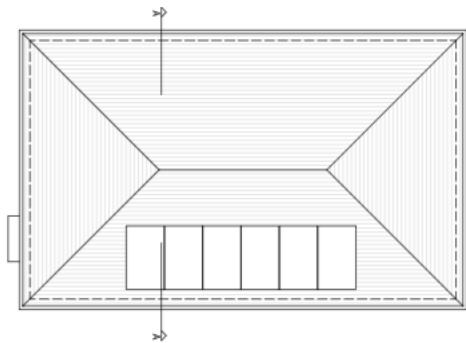
Date: 59 F14-25	Drawn by: AV
Scale: 1:100@A3	Rev: B

Block B – Floor Plans

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○ Ground Floor Plan



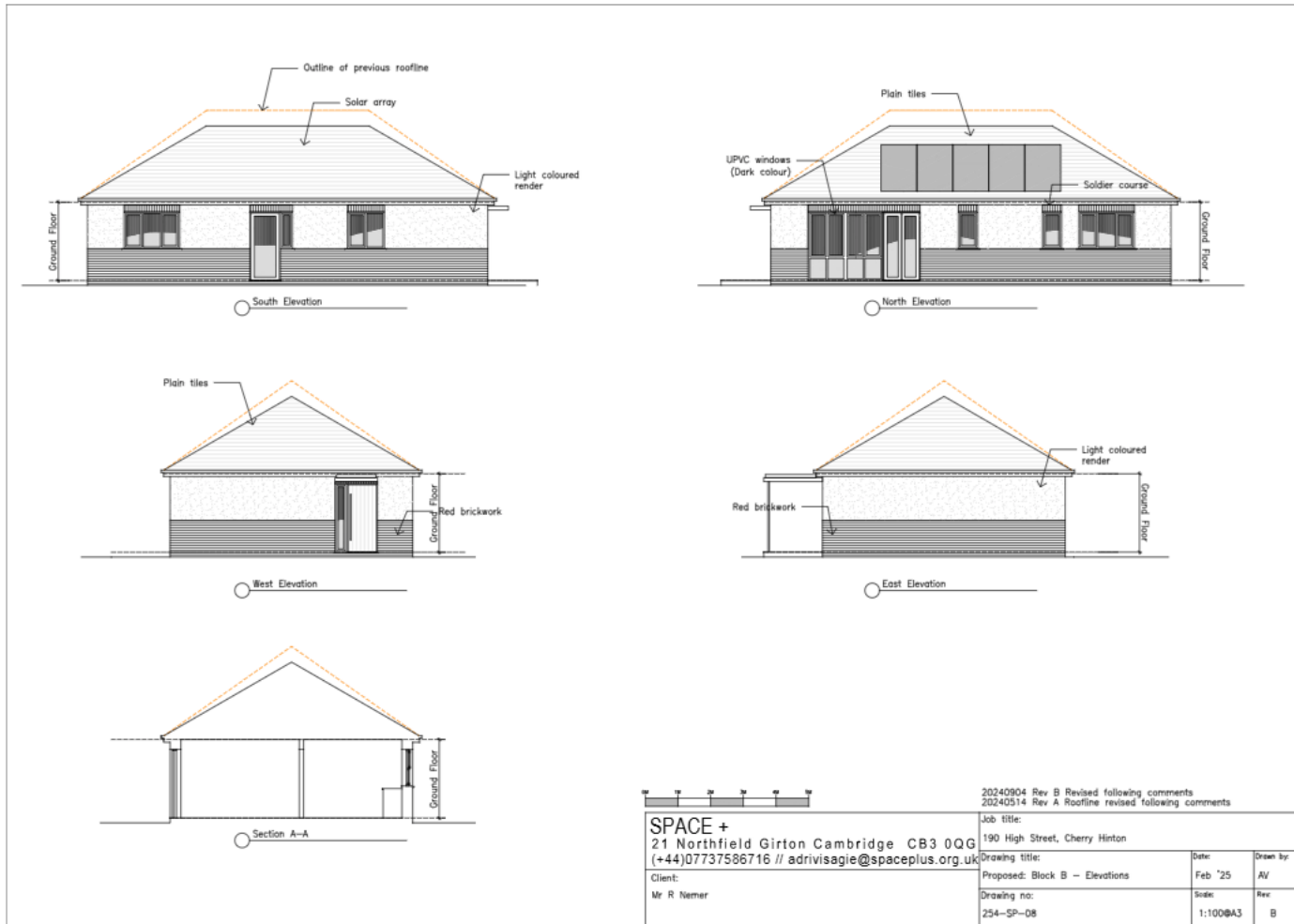
○ First Floor Plan



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Client: Mr R Nemer			
20240904 Rev A Revised following comments			
Job title: 190 High Street, Cherry Hinton		Date: Feb '25	
Drawing title: Proposed: Block B – Plans		Drawn by: AV	
Drawing no: 254-SP-07		Rev: 1:100A3 A	

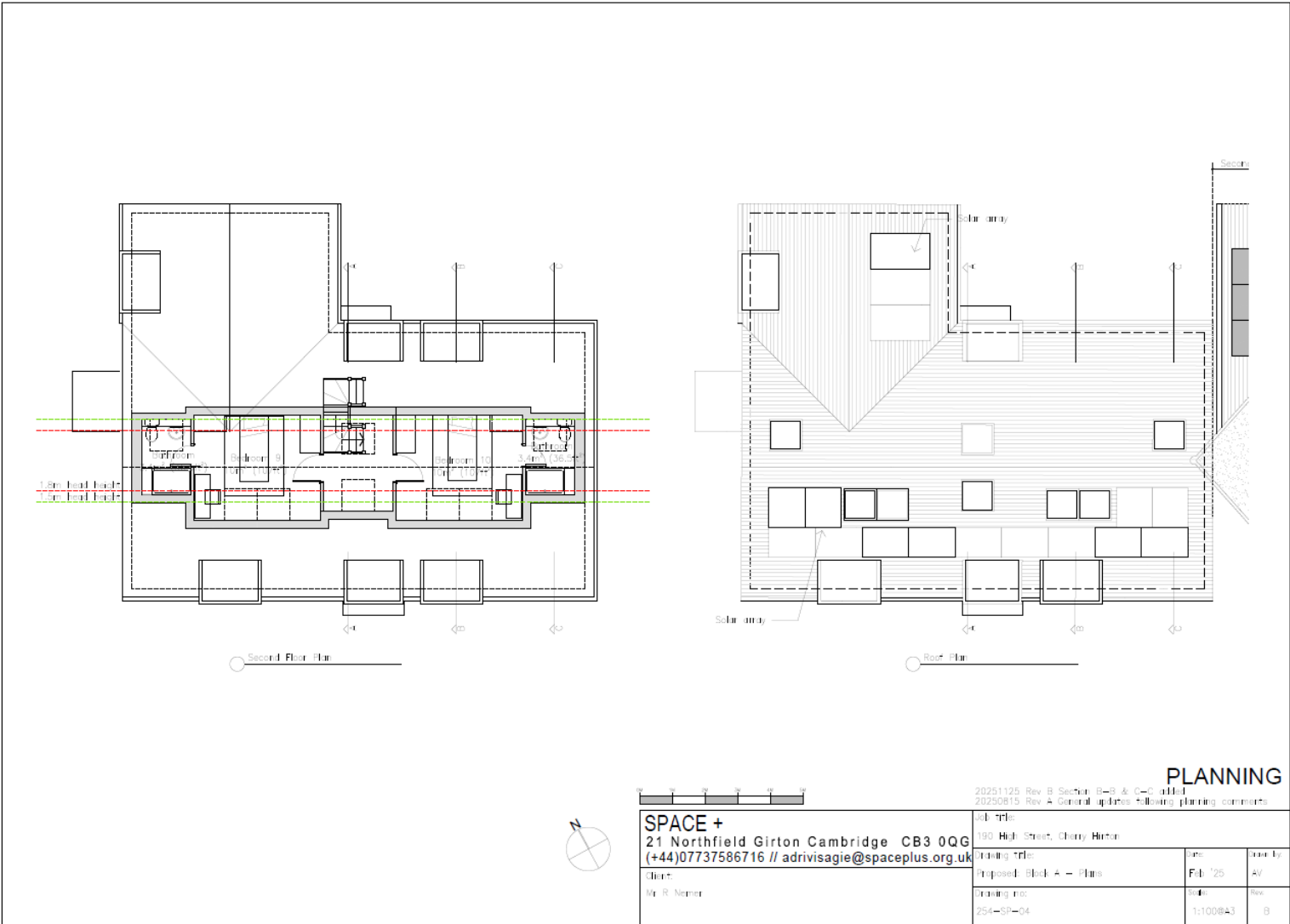
PLANNING

Block B – Elevations



Block A – Floor Plans

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Planning Balance

Approval

Key material considerations

Residential accommodation (large HMO) and a two-bedroomed bungalow
Sustainable location.

Ecological enhancements to achieve statutory BNG via off-site credits and on-site provision can be conditioned.

Tree planting as part of the landscape scheme.



Refusal

Key material considerations

Increase prominence in street scene

Officer Recommendation: Approve

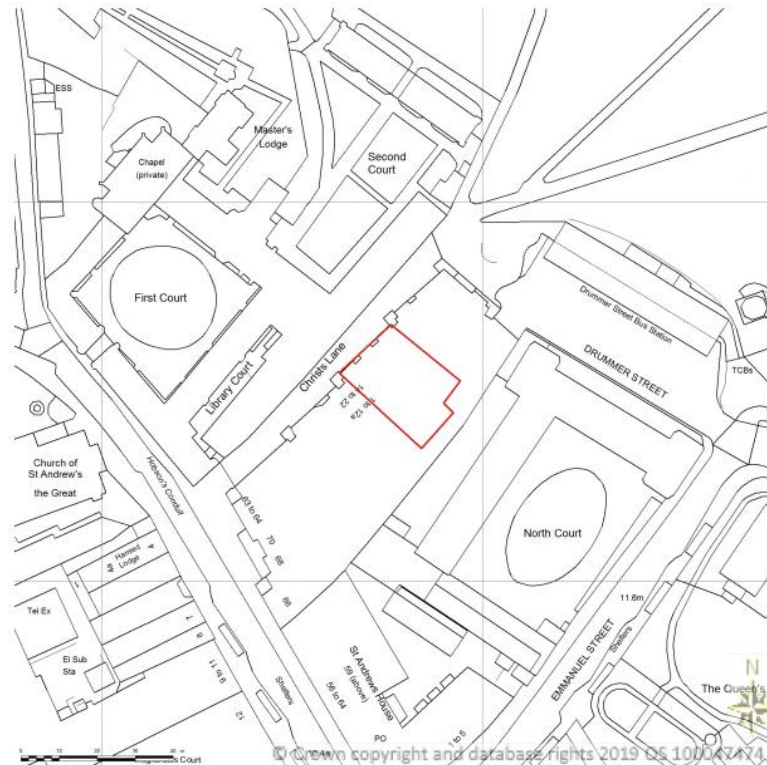
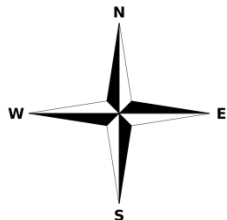
25/02660/S73

Units 5 and 6 Christs Lane

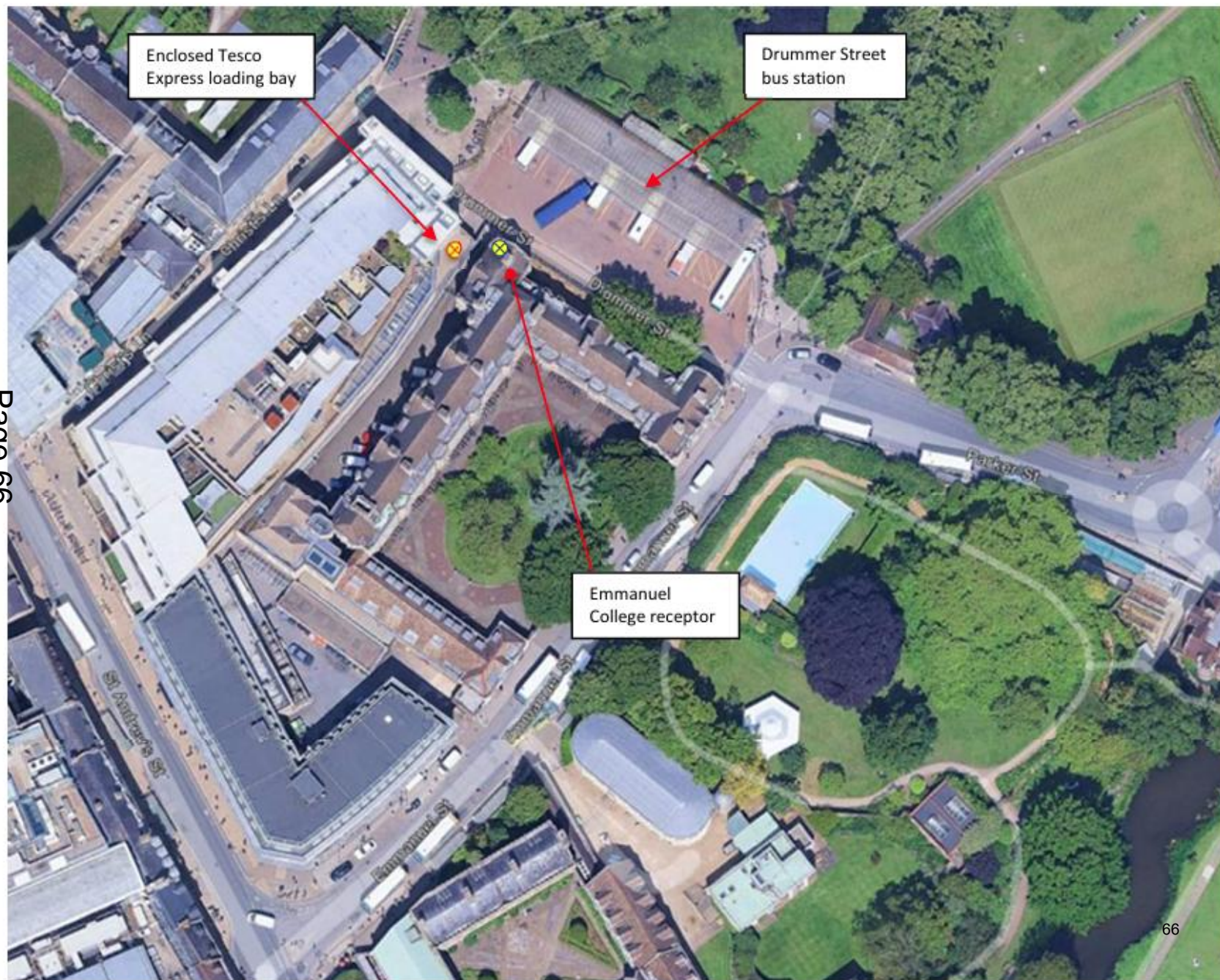
Cambridge CB1 1NP

Site Location Plan

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Appendix A: Tesco Express, Christ's Lane, Cambridge site plan



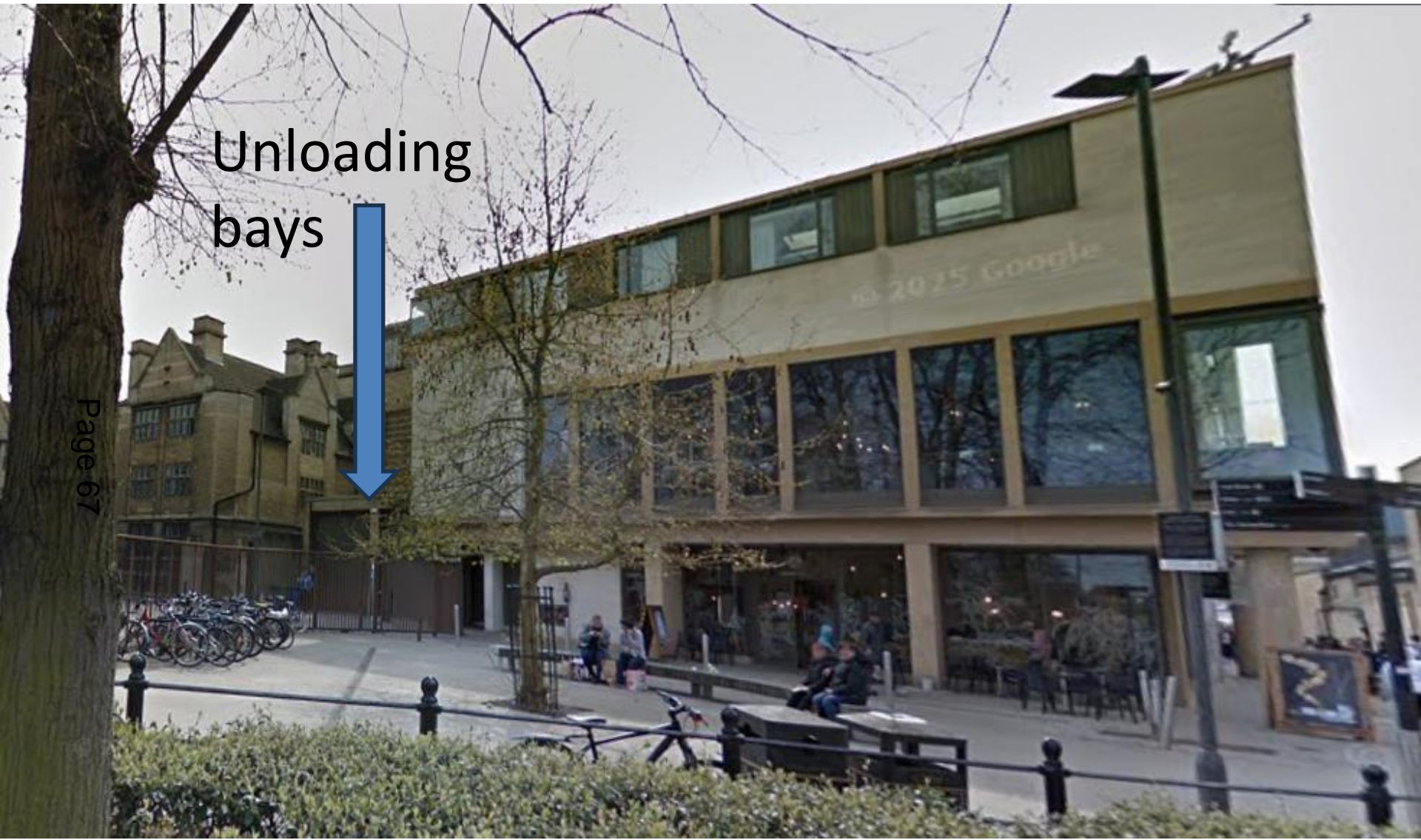


FIGURE 4: Delivery vehicle unloading position

